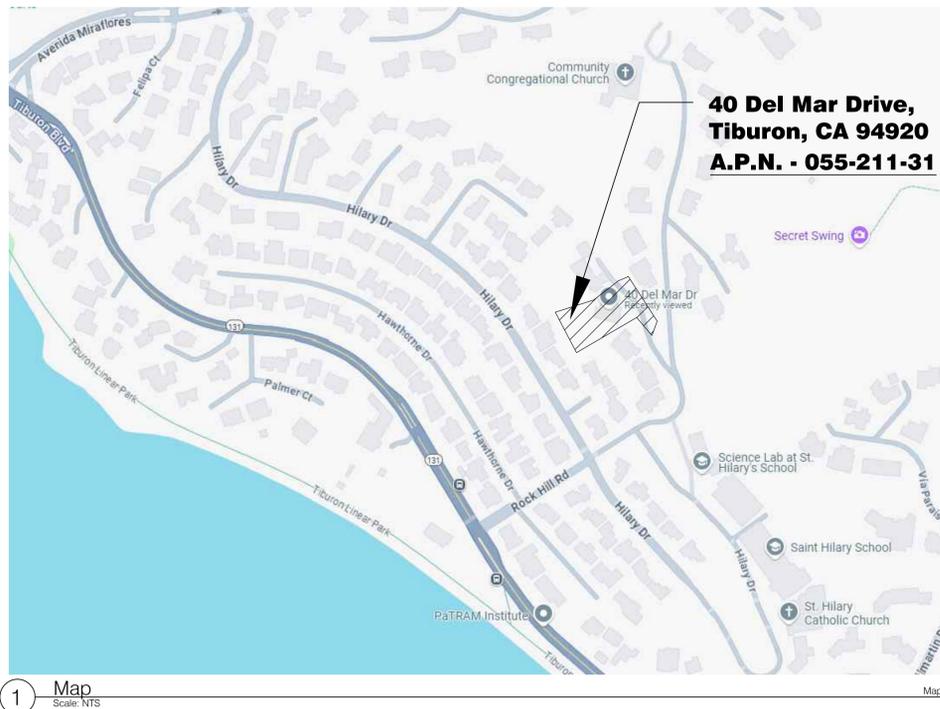


Landscape Architectural General Notes

- Limit of Work (LOW): The contract limit line represents the limit of work. The contract limit line shall be at the limit necessary for improvements as shown on the drawings. The contractor shall not do any work beyond the limit of work line as defined on the drawings and authorized by the respective authority. In some areas, the contract limit line is graphically located to allow for the drawings to clearly and legibly describe work to be performed. The contractor shall utilize only that space which is required to perform the work as approved by the owner. The contractor shall take sole responsibility for the cost incurred due to replacement of work done beyond the contract limit line and replacement of work done without permission of the owner.
- Utilities: The contractor shall familiarize him/herself with all utilities above grade, at grade and underground, including utility pipes and structures. The contractor shall verify with the owner and utility companies the locations of all utilities prior to the start of construction. The contractor shall take sole responsibility for the cost incurred due to damage and replacement of all utilities on the site.
- Contractor to review all subgrade conditions prior to commencing work. Contractor to notify the owner of areas of concern including, but not limited to: standing water and evidence of soil impermeability, deleterious substances, obstructions, construction waste from other trades, or other conditions that exist and will impact construction activities. contractor to assist the owner in seeking resolution of condition noted and to implement measures to rectify areas of concerns as part of their scope of work.
- The contractor is advised that additional notes will be found on subsequent sheets of the contract documents and that such notes, while pertaining to the specific drawings they are placed on, supplement the general notes listed herein. All notes shall be applicable to all drawings.
- All notes are provided for the contractor's convenience only. In all cases, refer to the specifications.
- Dimensions and details shown of existing structures have been taken from available record drawings and reports, and may not reflect current as-built conditions. Although every effort has been made to accurately locate all conditions, actual conditions, may vary from those shown, the contractor shall assume responsibility for actual conditions as they exist on the site.
- The contractor must assess actual dimensions, conditions and materials for demolition and disposal. Upon obtaining all additional information required for the demolition and removal work, the contractor shall notify the landscape architect and engineer of all field changes.
- The contractor shall not be allowed to drop waste concrete, debris and other material to areas outside the limit of work. If the owner determines that adequate protective devices are not being employed, the work shall be suspended until adequate protection is provided. The contractor shall submit information for all protective devices for acceptance by the owner and landscape architect prior to starting work.
- The term "contractor" within these notes shall mean the site contractor(s) performing the site work.
- All exterior lighting shall be shielded down lighting to meet town code section 16-30.070



**40 Del Mar Drive,
Tiburon, CA 94920
A.P.N. - 055-211-31**

Lot Coverage Calculations

Total Lot Square Footage: 31,541 SF
 Total Lot Coverage (Existing plus Proposed) Square Footage: 4,424 SF
 Total Lot Coverage (Existing plus Proposed) Percentage: 14%
 Maximum Allowed Lot Coverage (R-1 District): Up to 30%



2 Lot Coverage Diagram
Scale: NTS

Town of Tiburon Hillside Design Guidelines Justification Notes

In response to coordination with the Town of Tiburon Planning Department, the following notes have been provided to outline the justification of landscape and retaining walls over 6 feet in height as part of this design review application.

- The site has dramatic grade change, existing trees that are being protected in place, and an existing utility easement at the south perimeter for the property. In order to create a safe pool deck and minimize the impact on site usability, the project proposes a series of tiered landscape and retaining walls. The proposed retaining walls at the south side of the project include planting on both sides to bring down the visual mass, and it is intended not to be visible from the neighboring properties.
- The design includes tiered walls to achieve both usable space for the residents, and minimize large retaining walls as much as possible. Because of the existing trees, utility easement, and rear setback constraints, the design team has proposed tiers as much as possible without compromising the usability of the site. The design has strategically located walls to ensure user safety, focusing smaller walls in areas where there is a higher anticipation of usage.
- The site accommodates space for required bioretention and generally flat areas for stormwater dissipaters. So, the south planting area between the walls and utility easement are planned to accommodate those infrastructure needs so water is managed on site to improve runoff to the neighbors. The walls proposed allow for stormwater infrastructure on an otherwise steep site.

NO RETAINING WALLS OR FENCING WITHIN THE REQUIRED SETBACKS EXCEED 6 FEET IN HEIGHT.

Landscape Architecture Sheet Index

Sheet Number	Sheet Title
SU1	Topographic Survey
SU2	Topographic Survey
SU3	Topographic Survey
L0.01	Cover Sheet
L1.01	Site Plan
L2.01	Layout Plan
L3.01	Materials Plan
L4.01	Concept Grading Plan
L9.01	Details
L9.02	Details
L7.01	Sections and Elevations
L7.02	Sections and Elevations
L6.01	Planting Plan
L6.02	Planting Schedule

Landscape Architectural Symbols

	DETAIL NUMBER			
	SHEET NUMBER			
	SECTION ELEVATION KEY			
	ENLARGEMENT BOX			
	ALIGN ELEMENTS			
	SET ELEMENTS PARALLEL			
	POINT OF BEGINNING			
	POINT OF CENTERLINE INTERSECTION			
	ADDENDUM NUMBER AND LOCATION			
	SECTION ELEVATION MARKER			

Landscape Architectural Abbreviations

AGGR	Aggregate	DEG	Degree	HDG	Hot Dip Galvanized	NIC	Not in Contract	RECD	Received	TBR	To Be Removed
ALLOW	Allowance	DET	Detail	HORIZ	Horizontal	NO	Number	REF	Reference	TEMP	Temporary
ALT	Alternate	DI	Drain Inlet	HT	Height	NOM	Nominal	REBAR	Reinforcing Bar	THK	Thick
ARCH	Architect	DIM	Dimension	ID	Inside Diameter	NTS	Not to Scale	REINF	Reinforced	THRU	Through
AVG	Average	DN	Down	IN	Inch	OC	On Center	REQD	Required	TR	Top of Ramp
BET	Between	DR	Drain	INCL	Include	OD	Outside Diameter	RET	Retaining	TS	Top of Step
BLDG	Building	DWG	Drawing	INFO	Information	OPNG	Opening	RGS	Rigid Galvanized Electrical Conduit	TW	Top of Wall
BO	By Others	E	East	INT	Interior	OPP	Opposite	RM	Room	TYP	Typical
BPP	Builder's Pavement Plan	EJ	Expansion Joint	INV	Invert	OPNG	Opening	SCH	Schedule	U'DRAIN	Underdrain
BR	Bottom of Ramp	EL, ELEV	Elevation	JB	Junction Box	OPP	Opposite	SCH	Schedule	ULI	Underwriters' Laboratories, Inc.
BS	Bottom of Step	ELEC	Electric	JT	Joint	PAR	Paragraph	SECT	Section	VERT	Vertical
BW	Bottom of Wall	ENG	Engineer	L	Length	PBC	Proposed Bottom of Curb	SHT	Sheet	VIF	Verify in Field, Do Not Proceed without Landscape Architect's Acceptance
CB	Catch Basin	EQ	Equal	LA	Landscape Architect	PCC	Point of Curvature	SIM	Similar	W	Width
C-C	Center to Center	EQUIP	Equipment	LB	Pound	PERP	Point of Compound Curvature	SO	South	W/O	Without
CF	Cubic feet	EXIST'G	Existing	LIN	Linear	PI	Point of Intersection	S	Square	WP	Waterproofing
CIR	Circle	EXT	Exterior	LT	Light	PL	Planted Area	SS	Stainless Steel	YD	Yard
CJ	Control Joint	FFE	Finish Floor Elevation	MATL	Material	PLMB	Plumbing	STD	Standard	Ø	Diameter
CL	Centerline	FG	Finish Grade	MAX	Maximum	PR	Pair	STL	Steel	@	At
CLR	Clear	FIN	Finish	MECH	Mechanical	PRT	Point of Reverse Tangency	STRUC	Structural	±	Plus or Minus Dimension. Contractor May Proceed If Actual Dimension Is within Two Units of Smallest Units Given
COL	Column	FT	Feet	MET	Metal	PSI	Pounds per Square Inch	S/W	Stormwater	T	Tread
CONC	Concrete	FTG	Footing	M/H	Manhole	PREFAB	Prefabricated	SWPPP	Stormwater Pollution Prevention Plan	T & B	Top and Bottom
CONST	Construction	GALV	Galvanize	MIN	Minimum	PROJ	Project	PT	Point of Tangency		
CONT	Continue	GFI	Ground Fault Indicator	MISC	Miscellaneous	PTC	Proposed Top of Curb				
DIA	Diameter	GH	Ground Hydrant	N	North						
DBL	Double	HCR	Handicap Ramp	N/A	Not Applicable						



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1. SCHEMATIC DESIGN	11-13-2024
2. DESIGN REVIEW SUBMITTAL #1	06-03-2025
2. DESIGN REVIEW SUBMITTAL #2	10-16-2025
3. DESIGN REVIEW SUBMITTAL #3	11-19-2025

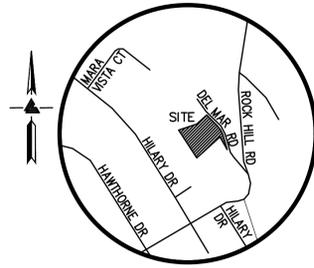
Design Review Submittal

DATE: _____ NORTH:

SCALE: AS NOTED

Cover Sheet

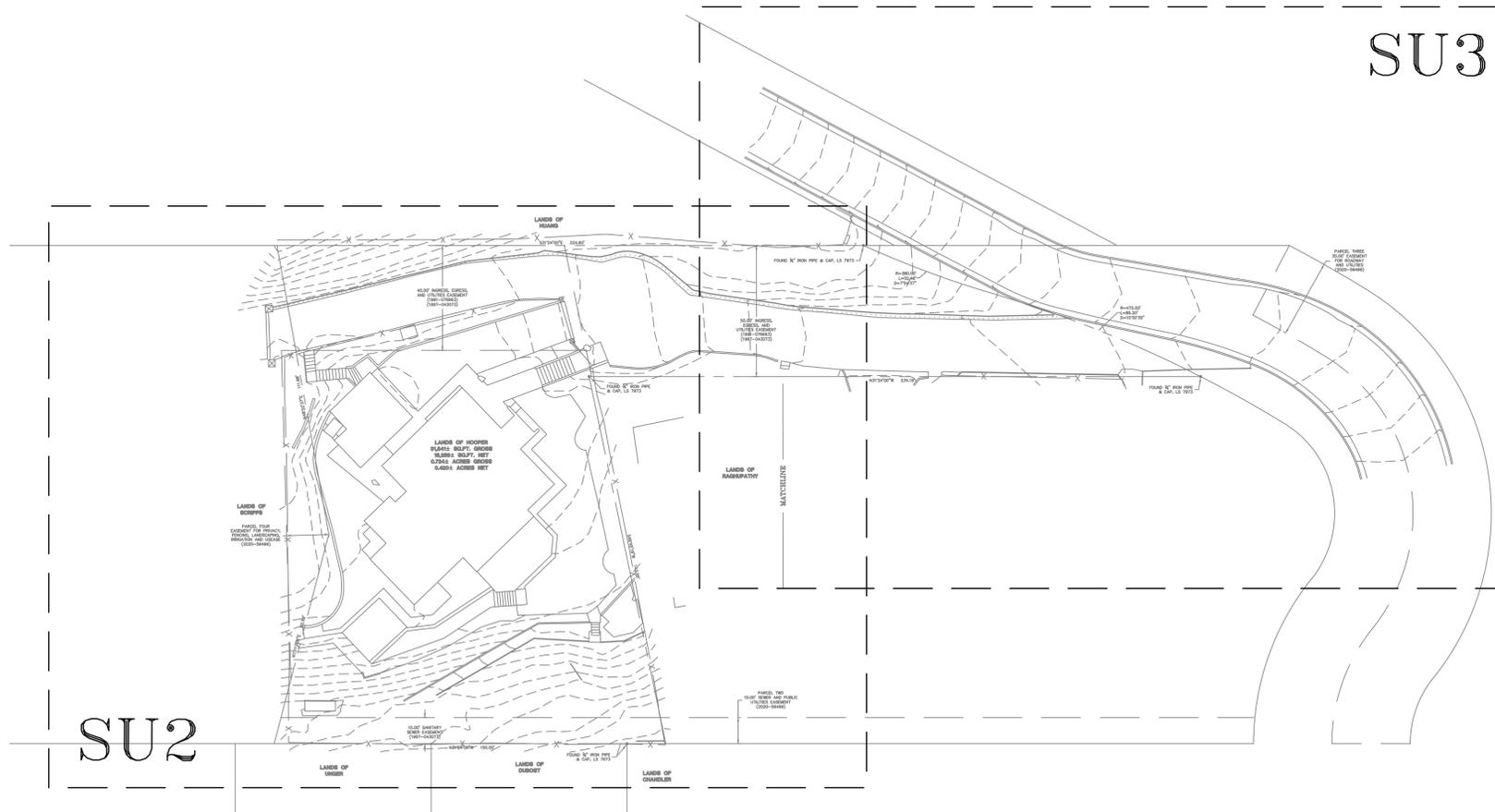
L0.01



VICINITY MAP
NO SCALE

LEGEND AND NOTES

- BOUNDARY LINE
- - - EASEMENT
- x FENCE LINE
- FLOW LINE
- SD STORM DRAIN LINE
- CATV CATV CABLE TV LINE (PAINT MARKINGS)
- E E ELECTRICAL LINE (PAINT MARKINGS)
- G G GAS LINE (PAINT MARKINGS)
- T T TELEPHONE LINE (PAINT MARKINGS)
- W W WATER LINE (PAINT MARKINGS)
- A/C AIR CONDITIONING UNIT
- AD AREA DRAIN
- ⊠ BFP BACK FLOW PREVENTER
- ⊙ BENCHMARK
- BW BOTTOM RETAINING WALL
- CATV CABLE TV UTILITY BOX
- ▤ CB CATCH BASIN
- EM ELECTRICAL METER
- ELEC ELECTRICAL VAULT
- FF FINISH FLOOR
- ⊗ FH FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- ⊗ GV GAS VALVE
- INV INVERT
- ⊗ ICV IRRIGATION CONTROL VALVE
- KP KEYPAD
- M- MULTI-TRUNK TREE
- MB MAIL BOX
- RP ROOF PEAK
- SSCO SANITARY SEWER CLEAN-OUT
- SSLH SANITARY SEWER LAMP HOLE
- SSMH SANITARY SEWER MAINTENANCE HOLE
- SP STANDPIPE
- SDMH STORM DRAIN MAINTENANCE HOLE
- TEL STREET SIGN
- TEL TELEPHONE UTILITY BOX
- TC TOP OF CURB
- TW TOP OF RETAINING WALL
- VLT UTILITY VAULT
- WM WATER METER
- ⊗ WV WATER VALVE
- xxx.xx SPOTGRADE
- ASPHALT
- CONCRETE
- GRAVEL
- LAWN
- PAVERS
- RIVER ROCK
- STONE
- TILE



FEMA FLOOD NOTE

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)
FLOOD INSURANCE RATE MAP No.: 06041C0488E
EFFECTIVE DATE: MARCH 16, 2016

EASEMENT NOTE

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY LEA & BRAZE ENGINEERING, INC. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
EASEMENTS ARE SHOWN PER RECORD OF SURVEY 2010 MAPS 67

TREE NOTE

TREE SIZE, TYPE AND DRILINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
THE GROSS AREA OF THE SURVEYED LOT IS 31,541± SQUARE FEET / 0.724± ACRES

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 99.68'
(ASSUMED)

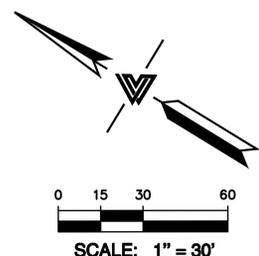


LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
ROSEVILLE
LEAKS
SAN LUIS OBISPO
MAIN OFFICE:
2495 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(510) 867-4066
WWW.LEABRAZE.COM

40 DEL MAR DRIVE
TIBURON
CALIFORNIA
MARIN COUNTY
APN: 055-211-31

TOPOGRAPHIC SURVEY

REVISIONS	BY
JOB NO:	2241499
DATE:	9-10-24
SCALE:	1"=30'
BNDY BY:	RM
FIELD BY:	EH
DRAWN BY:	JP
SHEET NO:	



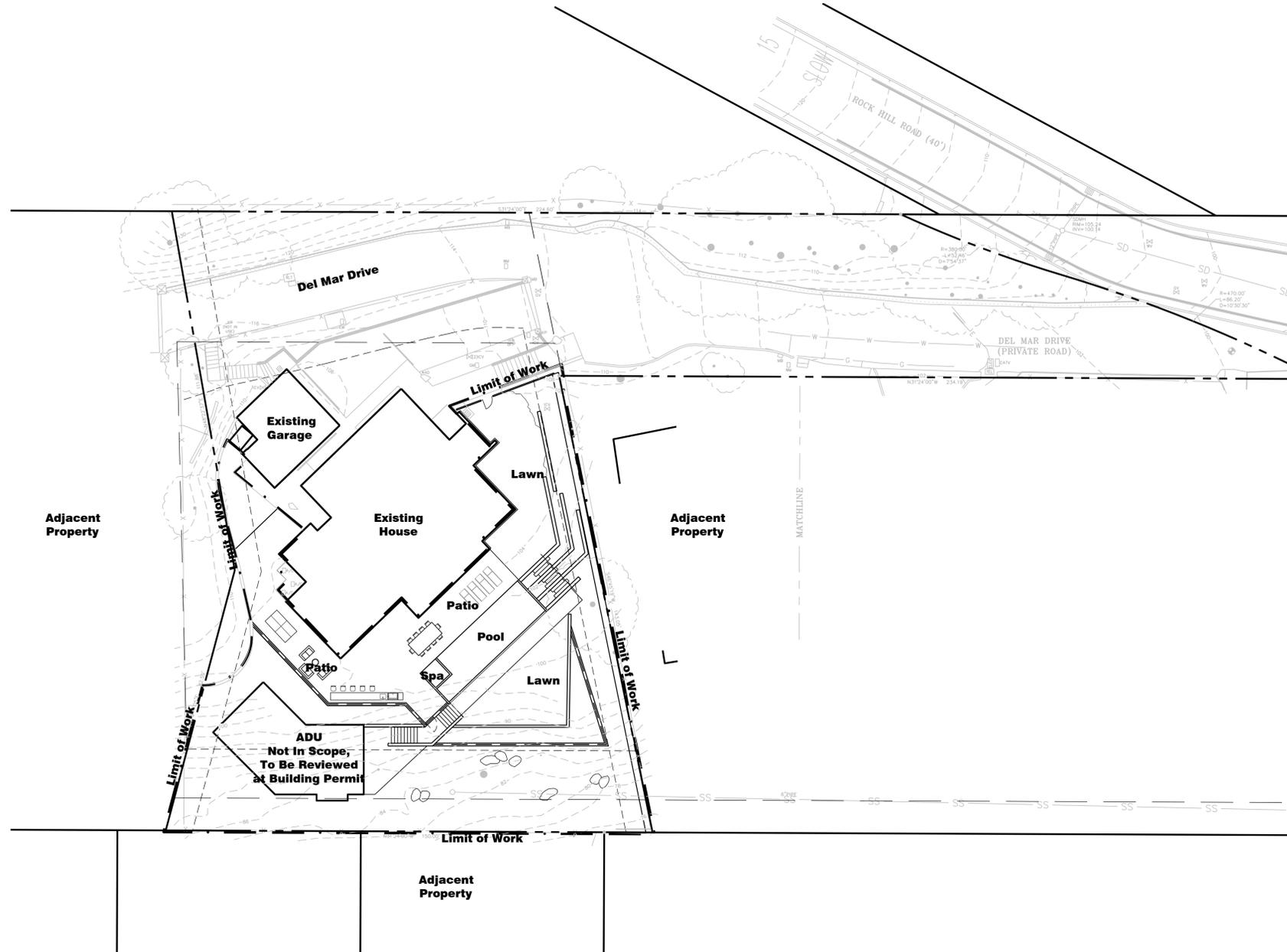
HOOPER RESIDENCE

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Landscape Architectural Legend

-  Property Line
-  Limit of Work
-  Setback Line
-  Easement Line

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2. DESIGN REVIEW SUBMITTAL #2	10-16-2025

Design Review Submittal

DATE: _____ NORTH: 

SCALE: AS NOTED

Site Plan



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2. DESIGN REVIEW SUBMITTAL #2	10 - 16 - 2025

Design Review Submittal

DATE: _____ NORTH: 

SCALE: AS NOTED

Layout Plan

L2.01

Landscape Architectural Legend

-  Property Line
-  Limit of Work
-  Setback Line
-  Easement Line

Landscape Architectural Layout Notes

- Use dimensional information given. Do not scale drawings. Direct questions about dimensions to the Landscape Architect in writing.
- All dimensions are parallel or perpendicular to the lines from which they are measured unless noted otherwise.
- All dimensions shown are taken to the face or centerline of elements unless otherwise noted.
- Prior to final layout the Contractor shall verify proposed overall dimension and elevations of site improvements in relation to what is shown on the drawings. The Contractor shall report any discrepancies to Landscape Architect in writing.
- The Contractor shall submit a schedule to Landscape Architect for the sequencing of layout. The proposed sequencing schedule is subject to approval by the Landscape Architect before the work shall commence.
- The Landscape Architect may make reasonable adjustments to the horizontal and vertical layout without incurring additional costs to the project.

Landscape Architectural Layout Legend

-  Planting Area, See Planting Plans
-  Lawn Area, See Planting Plans



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Design Review Submittal

DATE: _____ NORTH:

SCALE: AS NOTED

Materials Plan

L3.01

Landscape Architectural Legend

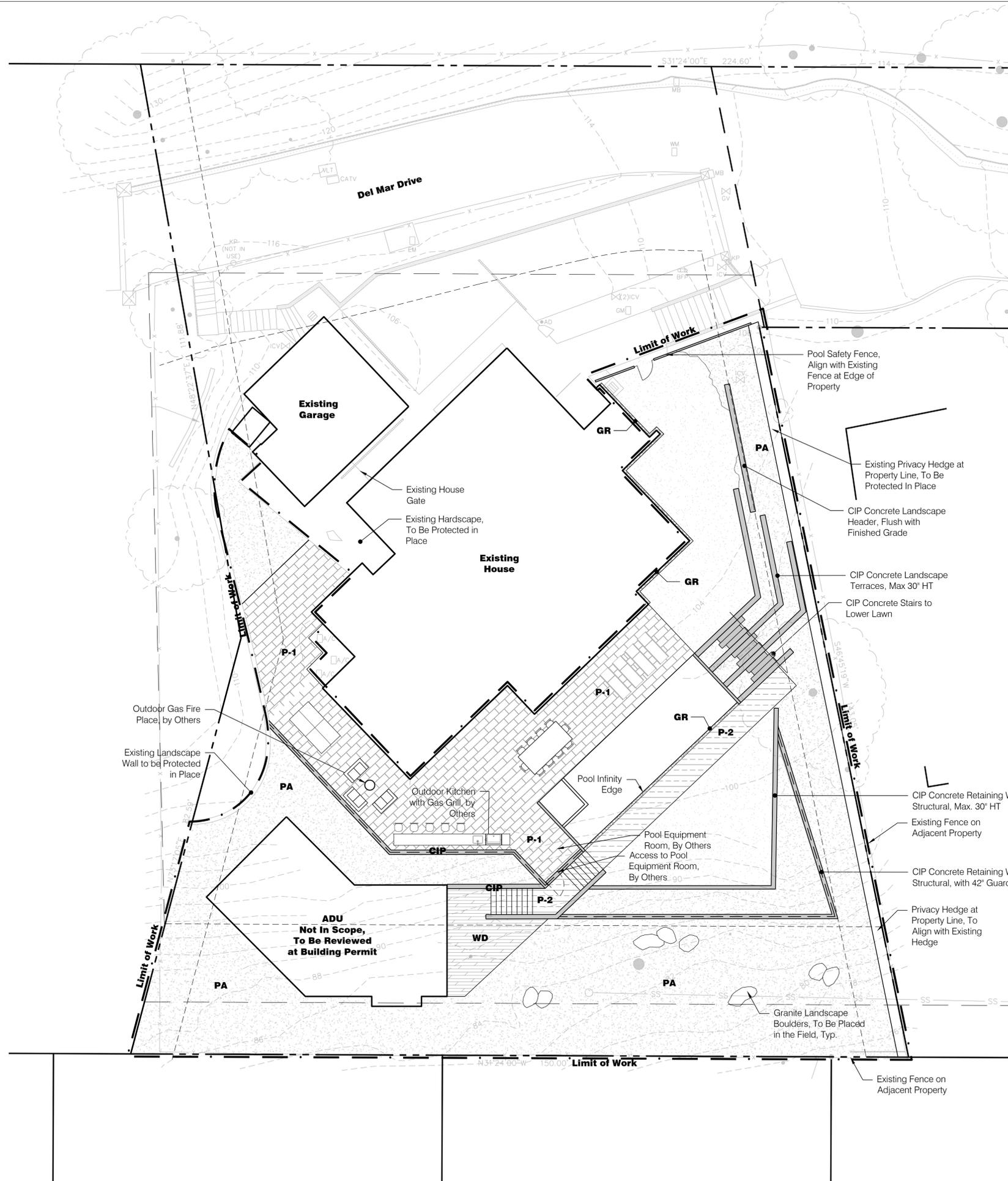
	Property Line
	Limit of Work
	Setback Line
	Easement Line

Landscape Architectural Materials Schedule

Symbol	Type	Material Description	Note
	Gravel	3/8" Black Basalt or Similar	
	Decorative Paving	Bolsena Bluestone Paver or Similar	Color: Natural Finish: Flamed
	Decorative Paving	Bolsena Bluestone Paver or Similar	Color: Natural Finish: Flamed
	Concrete Wall	Cast-in-Place Concrete Wall	Color: Outback Finish: Sand or Similar
	Wood Decking	Reclaimed Ipe or Cumaru	
	Planting Area		See Planting Plans
	Irrigated Lawn		See Planting Plans

Landscape Architectural Materials Notes

- The Contractor shall refer any questions on materials, finishes, labor and/or products not specified herein to the Landscape Architect, prior to ordering materials or starting work.
- All lines and dimensions are parallel or perpendicular to the lines from which they are measured unless otherwise shown.
- Field Measurements: Take accurate field measurements before preparation of Shop Drawings and/or fabrication. Do not delay job progress.
- The Landscape Architect may make reasonable adjustments to the layout without incurring additional costs to the project. The Contractor shall stake out proposed tree locations to aid in the review of the final layout of site elements.
- Changes in level of pavement shall not exceed 1/4". Openings of walking surface grating materials shall not exceed 1/2". Elongated openings shall be perpendicular to the dominant direction of travel.
- Materials are subject to change based on availability, cost, or planning approval. Materials are shown for design intent only.



PROJECT:
**HOOPER
RESIDENCE**

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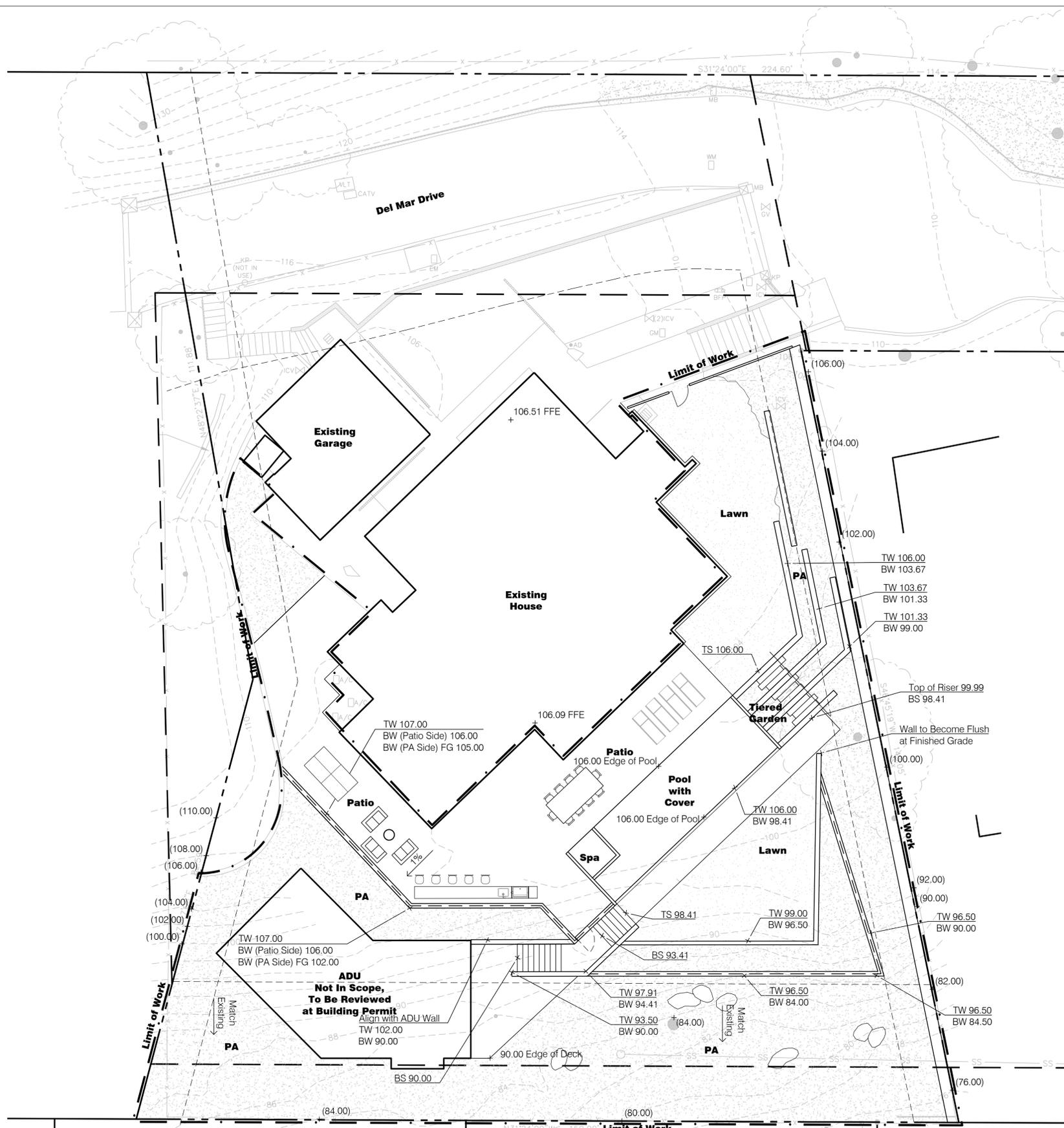
REVISIONS:	DATE:
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2. DESIGN REVIEW SUBMITTAL	06-03-2025
2. DESIGN REVIEW SUBMITTAL #2	10-16-2025

Design Review Submittal

DATE: _____ NORTH:

SCALE: AS NOTED

TITLE:
Concept Grading Plan



Landscape Architectural Legend

- Property Line
- Limit of Work
- Setback Line
- Easement Line

Landscape Architectural Grading Legend

- 2% Direction and Percent of Slope
- + (00.00) Existing Spot Elevation
- + 00.00 Proposed Spot Elevation
- + TW 00.00
BW 00.00 Top/Bottom of Wall Elevation
- + TS 00.00
BS 00.00 Top/Bottom of Stair Elevation
- + TSW 00.00
BSW 00.00 Top/Bottom of Seat Wall Elevation
- + FG 00.00 Finished Grade Elevation

- PA Planting Area, See Planting Plans
- LAWN Lawn Area, See Planting Plans

Landscape Architectural Grading Notes

1. The Contractor shall layout and determine the elevations of all site elements and proposed utilities for approval by the Landscape Architect prior to the start of construction. The Contractor shall report any discrepancies in writing to the Construction Manager. The Contractor shall provide elevations simultaneously with layout.
2. The Contractor shall ensure that all erosion control measures are in place and functioning prior to the placement of fill material.
3. The Contractor shall field verify grades and notify the Construction Manager of any discrepancies for resolution prior to starting construction operations. The Contractor shall not proceed under uncertainty and shall assume full responsibility and all costs for revisions due to failure to give such notifications.
4. The Contractor shall be responsible for positive surface drainage in all areas, unless otherwise noted. All newly graded ground surfaces shall be finished to uniform grades and sloped in such a manner as to drain properly and be free of depressions that cause areas of standing water. Where proposed grades meet existing, blend grades to provide a smooth transition between the new work and the existing work. Ponding at joints will not be accepted.
5. All grading shall be completed in a way to maintain positive drainage away from all structures. The contractor shall report any conflicts with this requirement to the Construction Manager for resolution prior to final grading operations.
6. Grading within the drip lines of existing trees to remain and new trees shall be done by hand to avoid damage to tree roots. Any earthwork within the drip lines of existing trees to be performed according to the arborist report and arborist recommendations.
7. Contractor shall notify Landscape Architect in advance and in writing for review of subgrade and prior to beginning finish grading and planting soil profile placement.
8. Fine grading: Set sufficient grade stakes for review by Landscape Architects of finished grades. Stakes must be set at the bottom and top of slopes and as needed to review the proposed elevation. Grades shall be established which are accurate to 1/10 of a foot either way. Connect contours and spot elevations until an even slope is achieved.
9. The Landscape Architect may make minor adjustments to rough and fine grading without incurring additional cost to the project.
10. The Contractor shall adjust all utility elements or covers (including but not limited to: clean outs, manholes, catch basins, inlets, gate valves) to be flush with the final finish grade whether shown on the drawings or not.
11. See Civil drawings for all detailing of drain inlets, manholes, oil/water separators, and underdrains.
12. Grading plan is for conceptual reference only. Civil Engineer to provide final grading plan for construction and building permit.
13. The estimated cut and fill calculations are as follows:
Cut: 220 cubic yards
Fill: 670 cubic yards



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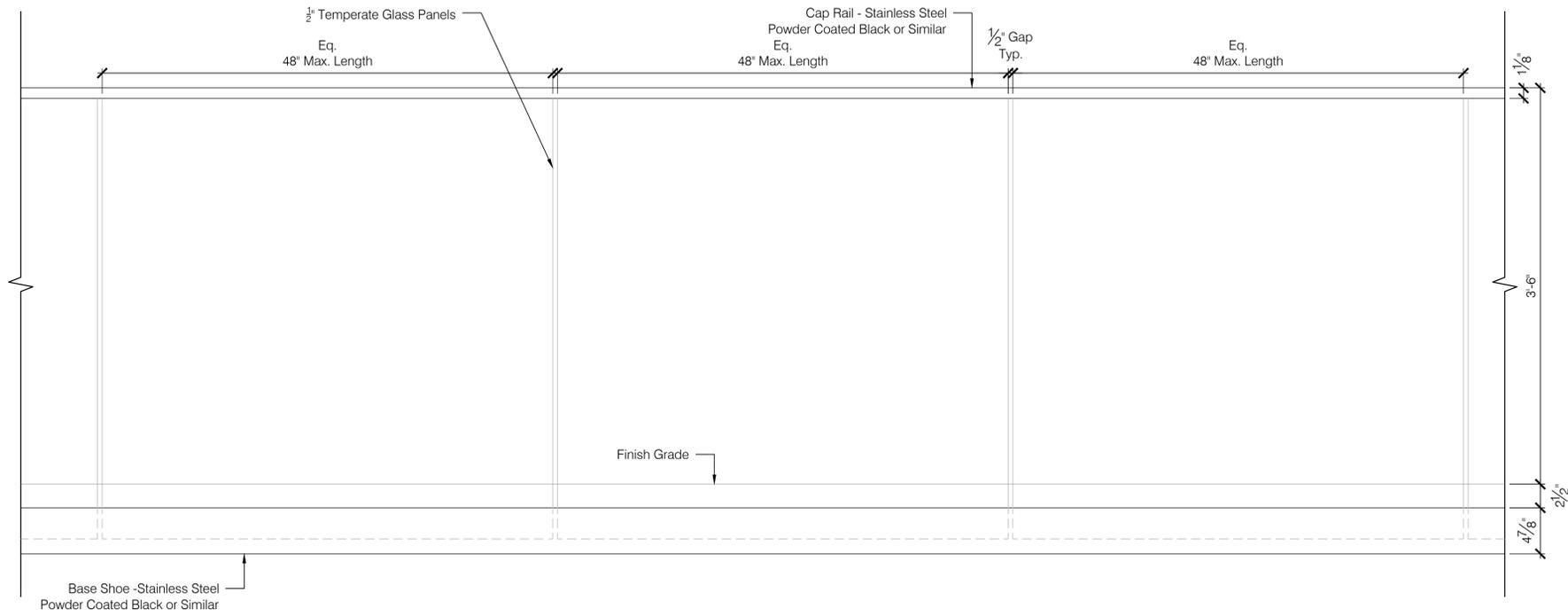
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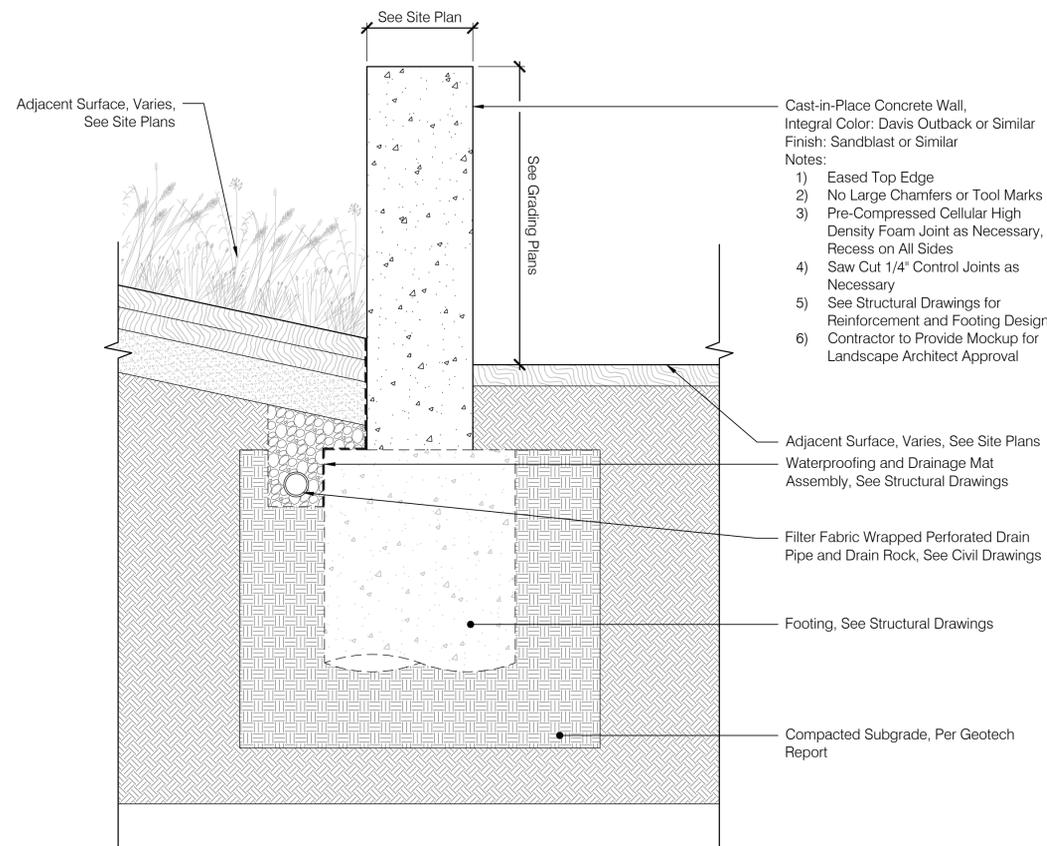
Note: Image for Visual Reference Only.



Note: Detail for Visual Reference Only. Guardrail Material and Design Subject to Change. Not For Construction.

1 Guardrail
Scale: 1 1/2" = 1'-0"

Elevation



2 Concrete Retaining Wall
Scale: 1/2" = 1'-0"

Elevation



Landscape Lighting Intent



Notes:

- 1) Light Fixture Shown for Conceptual Reference Only.
- 2) Lighting Layout In Progress.
- 3) All Light Fixtures and Layout to Comply with Dark Sky Town of Tiburon Requirements.

3 Lighting Concept
Scale: 1" = 1'-0"

Detail

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2. DESIGN REVIEW SUBMITTAL	06-03-2025
2. DESIGN REVIEW SUBMITTAL #2	10-16-2025

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Details

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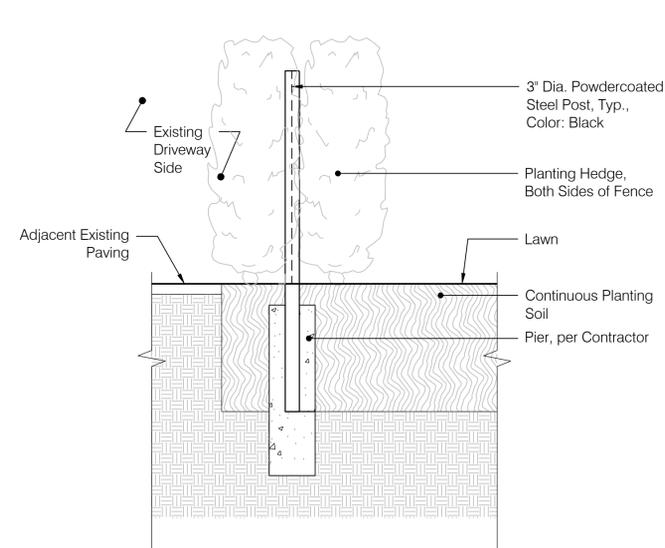
HOOPER RESIDENCE

40 DEL MAR DR.
TIBURON, CA 94920

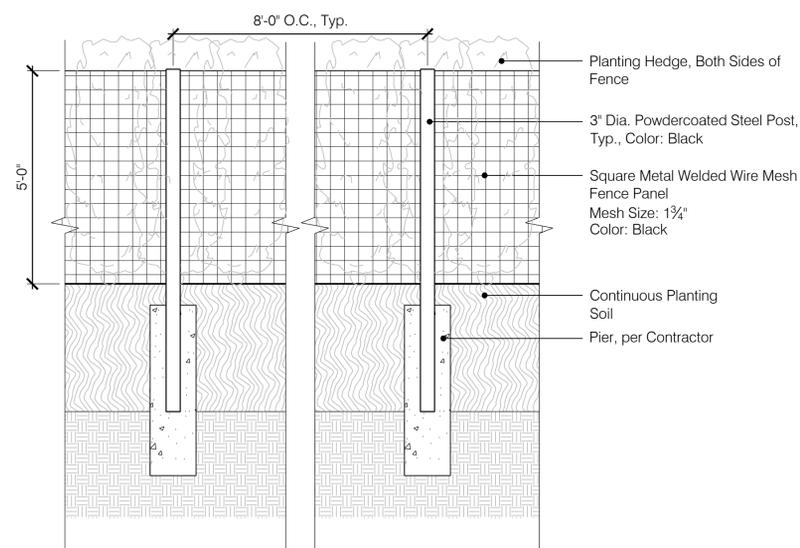
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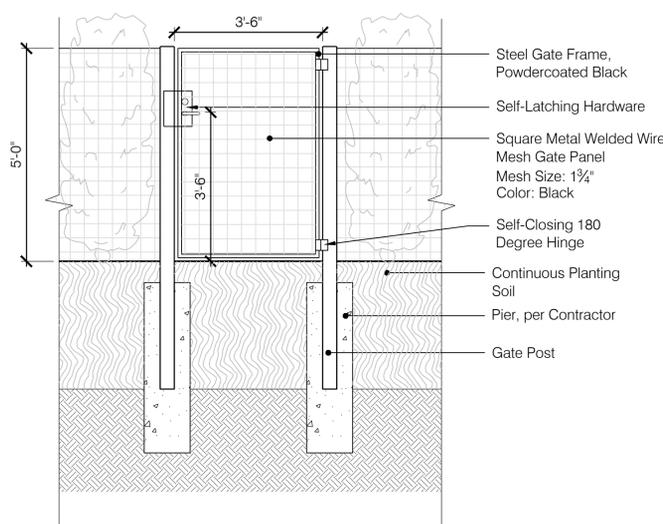
A Section



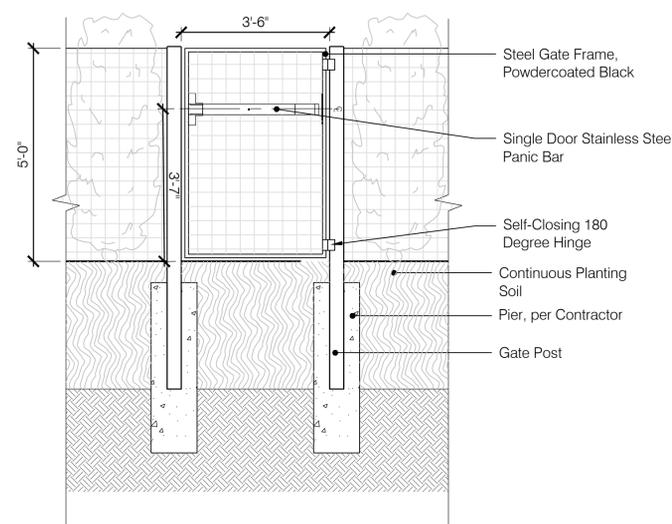
B Section

1 Fence
Scale: 1/2" = 1'-0"

Section



A Non-Pool Facing Side



B Pool Facing Side

Notes:

- Operable parts on doors and gates shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5 pounds maximum.
- The opening force required for hinged interior and exterior doors or gates other than fire doors shall be 5 lbs. maximum. CBC 11B-404.2.9.

2 Pool Safety Gate
Scale: 1/2" = 1'-0"

Section

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3. DESIGN REVIEW SUBMITTAL #3	11-19-2025

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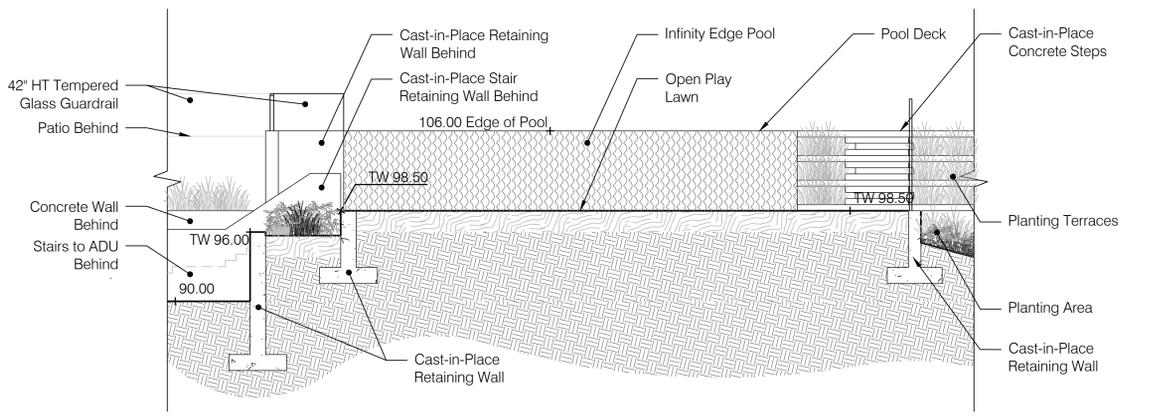
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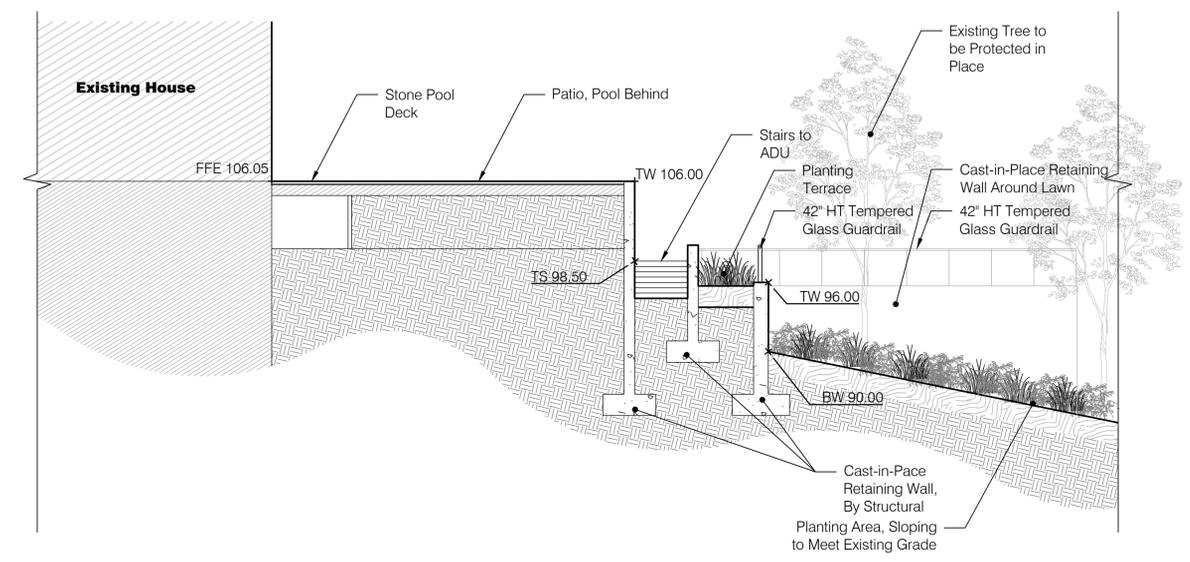
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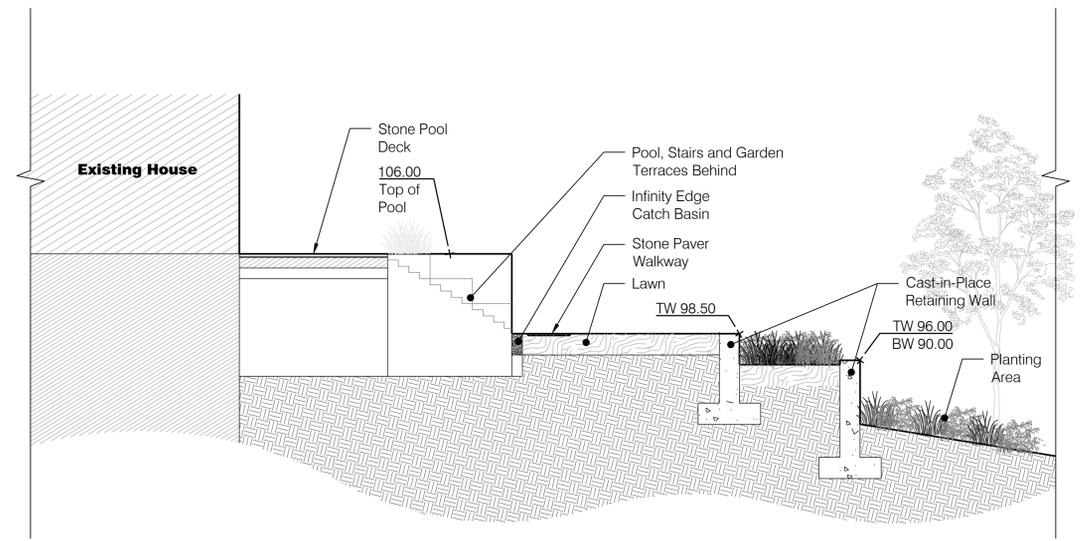
1 Section A
Scale: 1/8" = 1'-0"

Elevation



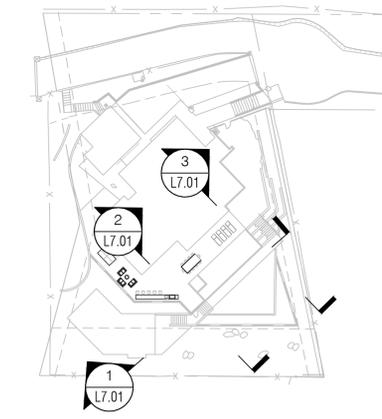
2 Section B
Scale: 1/8" = 1'-0"

Elevation



3 Section C
Scale: 1/8" = 1'-0"

Elevation



Key Map

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Sections And Elevations

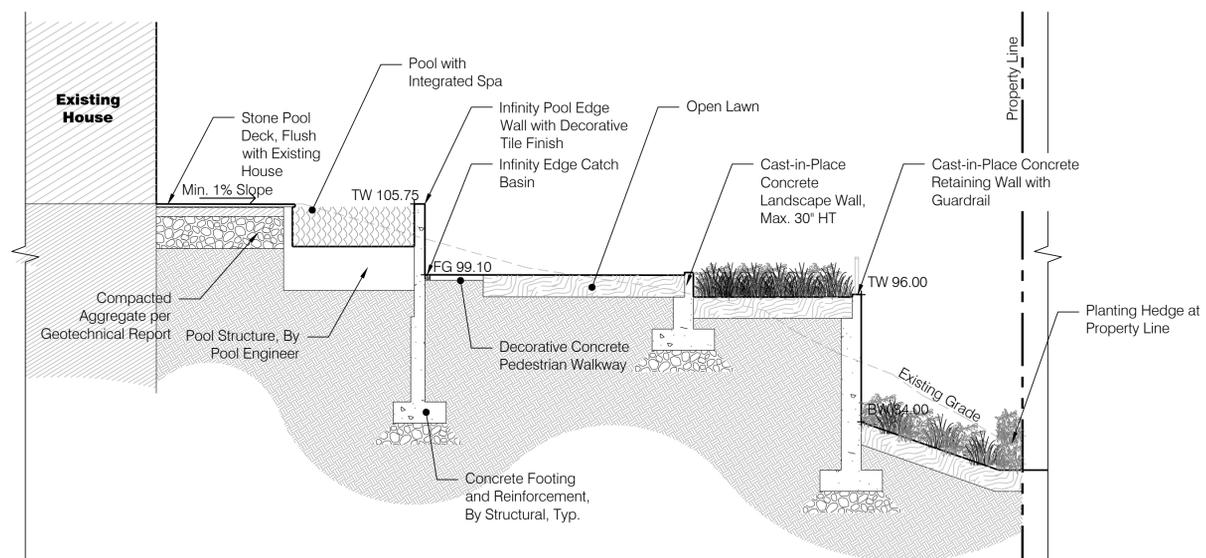
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1 Section D
Scale: 1/8" = 1'-0"

Section

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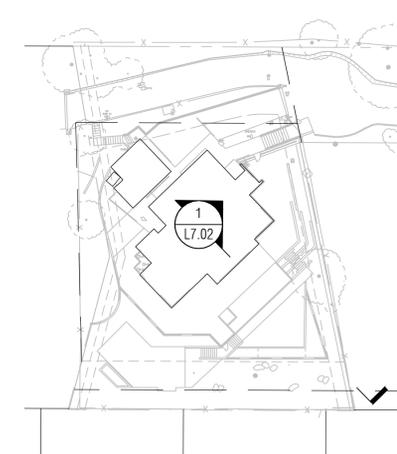
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Sections And Elevations



Key Map

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3. DESIGN REVIEW SUBMITTAL #3	11 - 19 - 2025

Design Review Submittal

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SCALE: AS NOTED

Planting Schedule

Planting Schedule - 40 Del Mar								
Key	Quantity	Botanical Name	Common Name	Size	Root	Spacing	Bioretention	WUCOLS
Trees								
AF	1	<i>Acacia farnesiana</i>	Sweet Acacia	36"	Box	Per Plan		VL
AU	1	<i>Arbutus unedo</i>	Strawberry Tree	36"	Box	Per Plan		L
CM	1	<i>Citrus x meyeri</i>	Lemon Tree	36"	Box	Per Plan		M
EJ	1	<i>Eriobotrya japonica</i>	Loquat Tree	36"	Box	Per Plan		L
MK	1	<i>Meiwa kumquat</i>	Kumquat Tree	36"	Box	Per Plan		L
Shrubs								
As	6	<i>Adenanthos sericeus</i>	Wolly Bush	15 gal.	Cont.	48"		L
Am	12	<i>Agastache mexicana</i>	Giant Hyssop Lavender	1 gal.	Cont.	12"		M
Ap	5	<i>Abutilon palmeri</i>	Palmer's Indian Mallow	1 gal.	Cont.	12"		L
Ar	11	<i>Agastache rupestris</i>	Sunser Hyssop	1 gal.	Cont.	12"		L
At	10	<i>Artemisia ludoviciana silver queen</i>	Silver Queen Wormwood	5 gal.	Cont.	24"		VL
Bs	2	<i>Banksia spinulosa 'Stumpy Gold'</i>	Stumpy Gold Banksia	15 gal.	Cont.	36"		L
Bd	3	<i>Buddleja davidii</i>	Summer lilac	15 gal.	Cont.	48"		M
Ei	8	<i>Eryngium leavenworthii</i>	Sea Holly	15 gal.	Cont.	36"		M
Gm	8	<i>Grevillea 'Moonlight'</i>	Moonlight Grevillea	15 gal.	Cont.	48"		L
Li	10	<i>Leonotis leonurus</i>	Lion's Tail	15 gal.	Cont.	24"		L
Ls	3	<i>Leucadendron 'Safari Goldstrike'</i>	Safari Goldstrike Cone Bush	15 gal.	Cont.	48"		L
Pt	3	<i>Pelargonium tomentosum</i>	Peppermint Scented Geranium	15 gal.	Cont.	48"		M
Ph	38	<i>Penstemon heterophyllus 'Electric Blue'</i>	Beardtongue	1 gal.	Cont.	12"		L
Pm	84	<i>Polystichum munitum</i>	Western Sword Fern	15 gal.	Cont.	36"		M
Pc	208	<i>Polypodium californicum</i>	California Polypody	5 gal.	Cont.	48"	Bio	L
Sm	19	<i>Salvia microphylla 'Tanami white'</i>	Salvia 'Tanami White'	5 gal.	Cont.	24"		L
Sc	11	<i>Salvia clevelandii x sonomensis 'Gracias'</i>	Cleveland Sage	5 gal.	Cont.	24"		L
Sz	3	<i>Salvia azurea</i>	Azure blue sage	5 gal.	Cont.	24"		L
Ro	12	<i>Rosemary officinalis blue spires</i>	Rosemary 'blue spires'	15 gal.	Cont.	24"		L
Perennials and Groundcover								
Ac	212	<i>Asarum caudatum</i>	Western wild ginger	1 gal.	Cont.	12"		M
Bg	134	<i>Bouteloua gracilis</i>	Blue Grama	1 gal.	Cont.	12"	Bio	L
Cp	194	<i>Carex pansa</i>	Sand Dune Sedge	1 gal.	Cont.	12"	Bio	M
Da	3	<i>Dichondra argentea 'Silver Falls'</i>	Silver Falls	1 gal.	Cont.	12"		M
Ec	29	<i>Epilobium canum 'Summer Snow'</i>	Summer Snow California Fuschia	1 gal.	Cont.	12"	Bio	L
Eu	3	<i>Eriogonum umbellatum</i>	Sulphurflower Buckwheat	1 gal.	Cont.	12"		L
Hs	83	<i>Heuchera spp</i>	Heuchera	1 gal.	Cont.	12"	Bio	L
Ic	58	<i>Iris Canyon Snow'</i>	Canyon Snow Iris	1 gal.	Cont.	12"	Bio	L
Id	34	<i>Iris douglasiana</i>	Douglas Iris	1 gal.	Cont.	12"	Bio	L
Md	50	<i>Muhlenbergia dubia</i>	Pine Muhly	1 gal.	Cont.	12"	Bio	L
La	19	<i>Lupinus arboreus</i>	Coastal Bush Lupine	1 gal.	Cont.	12"	Bio	L
Oo	142	<i>Oxalis oregana</i>	Redwood Sorrel	1 gal.	Cont.	12"	Bio	M
Rp	81	<i>Rubus parviflorus</i>	Thimbleberry	1 gal.	Cont.	12"		L
Sa	6	<i>Santolina chamaecyparissus</i>	Lavender-cotton	1 gal.	Cont.	12"		L
Se	163	<i>Sesleria autumnalis</i>	Automn Moor Grass	1 gal.	Cont.	12"		M
Tg	234	<i>Tellima grandiflora</i>	Fingercups	1 gal.	Cont.	12"	Bio	M
Ts	9	<i>Thymus serpyllum</i>	Pink Ripple Thyme	1 gal.	Cont.	12"		L
Succulents								
Aw	3	<i>Agave weberi</i>	Weber's agave	15 gal.	Cont.	Per Plan		VL
An	7	<i>Agave angustifolia</i>	Caribbean agave	15 gal.	Cont.	Per Plan		VL
Al	3	<i>Aloe 'Lodes Yellow'</i>	Aloe	15 gal.	Cont.	Per Plan		L
Hw	9	<i>Hesperoyucca whipplei</i>	Chaparral yucca	15 gal.	Cont.	Per Plan		L