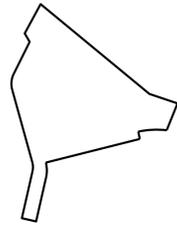


TENTATIVE MAP TIBURON TOWNHOMES

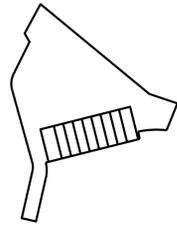
TIBURON, CALIFORNIA



VICINITY MAP
SCALE: NTS



EXISTING BOUNDARY
SCALE: NTS

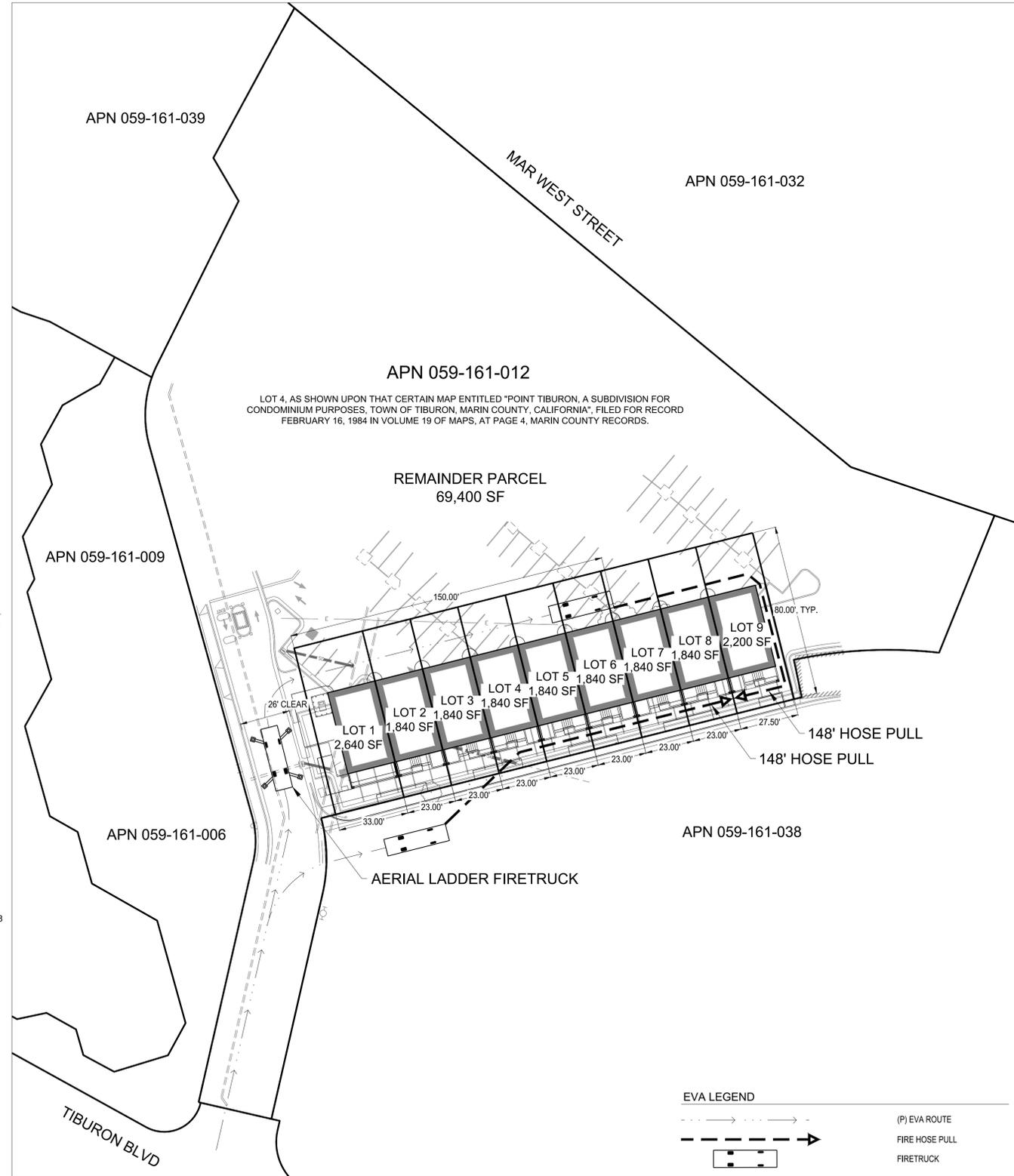


PROPOSED PARCELS
SCALE: NTS



ABBREVIATIONS

ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NSD	NAPA SANITARY DISTRICT
BW	BACK OF WALK	NTS	NOT TO SCALE
CA MUTCD	CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	PUE	PUBLIC UTILITY EASEMENT
CATTCH	CALIFORNIA TEMPORARY TRAFFIC CONTROL HANDBOOK	(P)	PROPOSED
CIP	CAPITAL IMPROVEMENT PROGRAM	PCC	PORTLAND CEMENT CONCRETE
CL	CENTERLINE	PL	PROPERTY LINE
CON	CITY OF NAPA	PM	PARCEL MAP
C&DD	CONSTRUCTION AND DEMOLITION DEBRIS	R	RADIUS
DI	DRAINAGE INLET	RCP	REINFORCED CONCRETE PIPE
E	ELECTRICAL LINE	ROW	RIGHT-OF-WAY
(E)	EXISTING	S	SLOPE
ECP	EROSION CONTROL PLAN	SS	SANITARY SEWER
EG	EXISTING GRADE	SCP	STORM WATER CONTROL PLAN
ELEC	ELECTRIC	SD	STORM DRAIN
EPA	ENVIRONMENTAL PROTECTION AGENCY	SDMH	STORM DRAIN MAN HOLE PER CON STD D-8
FL	FLOWLINE	SS	SANITARY SEWER
FG	FINISH GRADE	SSCO	SANITARY SEWER CLEANOUT PER NSD STD SS-1
FT	FEET	SSFH	SANITARY SEWER FLUSH HOLE PER NSD STD SS-28
G	GAS	SS LAT	SANITARY SEWER LATERAL PER NSD SS-24
GPS	GLOBAL POSITIONAL SYTSEM	SSMH	SANITARY SEWER MANHOLE
HMA	HOT MIX ASPHALT	SDE	SHERWOOD DESIGN ENGINEERS
HP	HIGH POINT	SWPPP	STORM WATER POLLUTION PREVENTION PLAN
INV	INVERT OF PIPE OR CHANNEL	T	TELEPHONE LINE
L.E.D	LIGHT-EMITTING DIODE	TC	TOP OF CURB
LF	LINEAR FEET	TPZ	TREE PROTECTION ZONE
LP	LOW POINT	TYP	TYPICAL
MH	MAINTENANCE HOLE	W	WATER
MIN	MINIMUM	WRPP	WASTE REDUCTION & RECYCLING PLAN



SITE AND EVA PLAN
SCALE: 1"=30'



EVA LEGEND



GENERAL NOTES

1. PARCEL NO: APN 059-161-012
2. PARCEL AREA: 2.00 ACRES
3. EXISTING USE: COMMERCIAL
4. PROPOSED USE: RESIDENTIAL
5. ZONING DESIGNATION: NEIGHBORHOOD COMMERCIAL
6. MAP PREPARER: SHERWOOD DESIGN ENGINEERS
7. WATER: MARIN MUNICIPAL WATER DISTRICT (MMWD)
8. SEWER: SANITARY DISTRICT NO. 5 OF MARIN COUNTY (TIBURON)

PROJECT CONTACTS

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LANDSCAPE ARCHITECT
URBAN FIELD STUDIO - JOHN BELA
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(415) 350-8257

SURVEY NOTES

1. EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A FIELD SURVEY OF AUGUST 28, 2025 REPRESENTING THE VISUAL SURFACE CONDITIONS AS OF AFORESAID DATE, PREPARED BY CINQUINI & PASSARINO, INC. LAND SURVEYING.
2. BENCHMARK: CINQUINI & PASSARINO CONTROL POINT NO. 8, BEING A SET OUT X IN THE TOP OF CURB AS SHOWN HEREON. ELEVATION = 12.45' (NAVD 88). THE ORTHOMETRIC ELEVATIONS SHOWN HEREON ARE BASED ON THE AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND WERE DETERMINED BY STATIC GPS TIES TO CGPS STATION P181 WITH A PUBLISHED ELLIPSOIDAL HEIGHT OF 238.557', IN ADDITION TO APPLYING THE NGS GEOID HEIGHT MODEL "GEOID2028".
3. BASIS OF BEARING: THE BASIS OF BEARINGS FOR THIS SURVEY IN THE CALIFORNIA COORDINATE SYSTEM, ZONE 13 NAD 83, EPOCH 2017.50 AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS GLOBAL POSITIONING SYSTEMS (CGPS) STATION TIBB AND STATION P181, BEING A GRID BEARING OF NORTH 68°18'31" EAST WEST AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC).
4. THE 5' WIDE EASEMENT TO PACIFIC BELL PER DN 85-02978, MARIN COUNTY RECORDS CANNOT BE PLOTTED BASED ON THE DESCRIPTION CONTAINED IN THE DOCUMENT.

SHEET INDEX

TM0.0	COVER SHEET
TM1.0	EXISTING CONDITIONS
TM2.0	GRADING PLAN
TM3.0	UTILITY PLAN
TM4.0	STORMWATER CONTROL PLAN

SCALE: AS NOTED		
Note: If this graphic scale does not equal 1", this sheet has been modified from its original facts.		
NO	DATE	REVISION

PROJECT NO. 25-191	
DATE	NOVEMBER 2025
DRAWN	JH
DESIGNED	JH / RG
CHECKED	RG

TENTATIVE MAP
TIBURON TOWNHOMES
 1801 TIBURON BLVD
 APN 059-161-012

COVER SHEET

DRAWING NO.

TM0.0
1 OF 5

LEGEND

	(E) PROPERTY LINE
	(E) EASEMENT



SCALE: 1" = 10'

Note: If this graphic scale does not equal 1", this sheet has been modified from its original facts.

NO	DATE	REVISION

PROJECT NO. 25-191

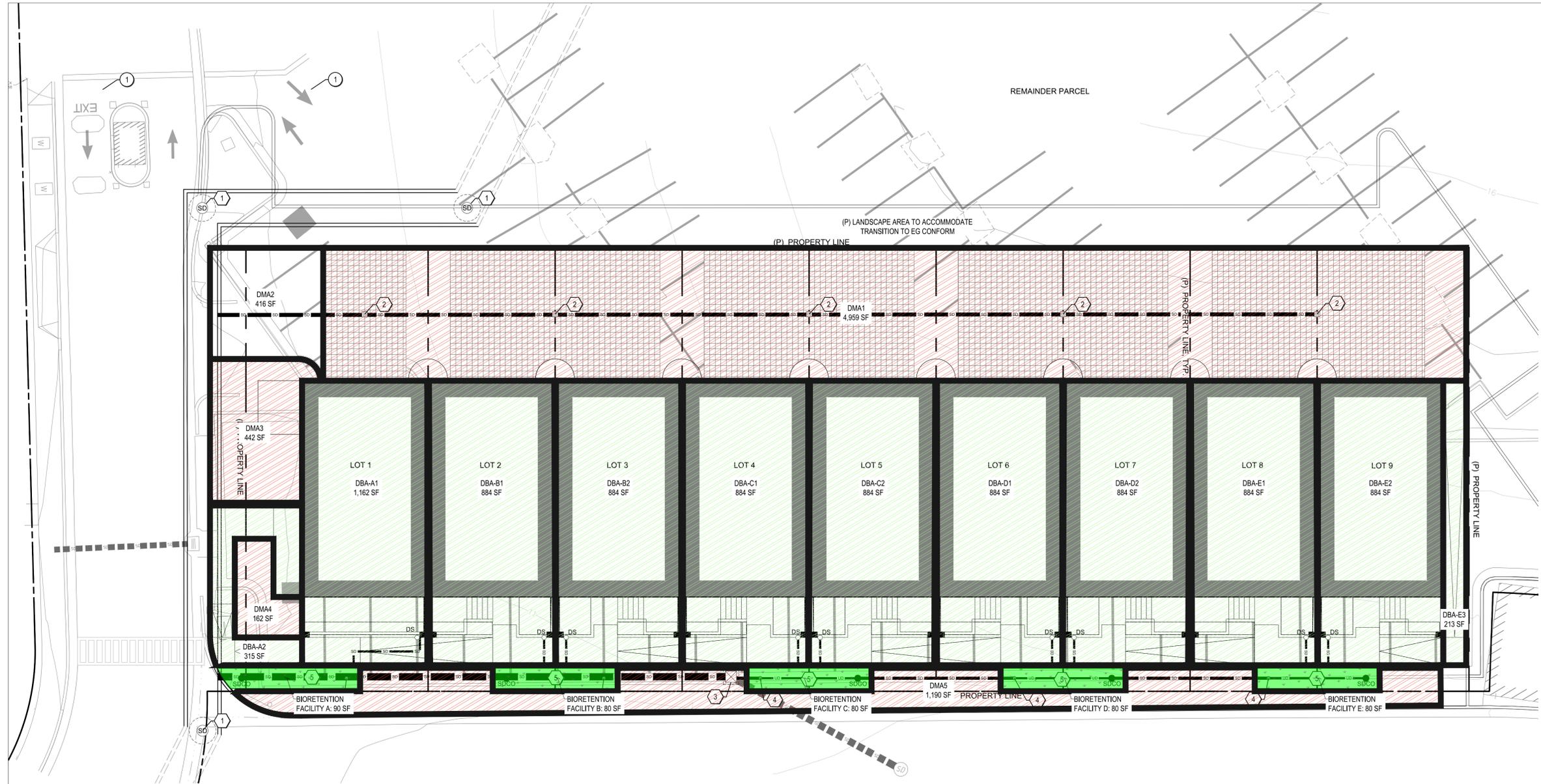
DATE	NOVEMBER 2025
DRAWN	JH
DESIGNED	JH / RG
CHECKED	RG

TENTATIVE MAP
TIBURON TOWNHOMES
1801 TIBURON BLVD
APN 059-161-012

EXISTING CONDITIONS



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SCALE: 1" = 10'

Note: If the graphic scale does not equal 1", this sheet has been modified from its original state.

NO	DATE	REVISION

6200 Sherwood Design Engineers
The design and concepts shown are the sole property of Sherwood Design Engineers and shall not be used without the prior written consent of Sherwood Design Engineers.

PROJECT NO. 25-191

DATE	NOVEMBER 2025
DRAWN	JH
DESIGNED	JHRG
CHECKED	RG

TENTATIVE MAP
TIBURON TOWNHOMES
1801 TIBURON BLVD
APN 059-161-012

SCP LEGEND

	DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
	DMA2: DRAINING TO STORM DRAIN SYSTEM
	PERMEABLE PAVERS AND LANDSCAPE
	DBA-#: DMA DRAINING TO BIORETENTION AREA
	BA-#: DMA BIORETENTION AREA

- SCP NOTES**
- ALL PERMEABLE MATERIALS AND SUBGRADE DESIGN WILL BE IN ACCORDANCE WITH BASMAA REQUIREMENTS.
 - REFER TO THE UTILITY PLAN FOR ADDITIONAL INFORMATION ON THE STORM DRAIN SYSTEM.

STORMWATER CONTROL
PLAN



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TIBURON TOWNHOMES

NOTE: THIS IMAGE ACCURATELY DEPICTS EXISTING AND PROPOSED CONDITIONS WITH THE CAVEAT THAT THE EXISTING GARAGE BUILDINGS OF THE NEIGHBORING POINT TIBURON BAYSIDE CONDOMINIUMS HAVE BEEN OMITTED IN THE INTEREST OF CLARITY TO ALLOW AN ADEQUATE VIEW OF THE PROPOSED TOWNHOMES. SEE SHEET A0.03-SITE CONTEXT PLAN FOR LOCATION OF VANTAGE POINT.

SHEET	A0.01.0		
	COVER SHEET		
SHEET TITLE	DATE	11/22/2025	PLANNING PERMIT SUBMITTAL
	PHASE		AS NOTED
	SCALE		AS NOTED
ISSUES/REVISIONS			
PROJECT	TIBURON TOWNHOMES APN: 059-161-12 1801 TIBURON BLVD., TIBURON, CA 94920		
CONSULTANTS			
STAMP			
<p>MACY ARCHITECTURE</p> <p>466 Geary Street, Suite 500 San Francisco, CA 94102 Tel 415 551 7630 Fax 415 551 7601 www.macyarchitecture.com</p>			

TIBURON TOWNHOMES - 1801 TIBURON BLVD., TIBURON, CA 94920

ABBREVIATIONS

&	AND	H.A.H.	HYDRONIC AIR HANDLER	T.	TREAD
<	ANGLE/ LESS THAN	H.B.	HOSE BIB	TEL.	TELEPHONE
>	GREATER THAN	H.C.	HOLLOW CORE	TEMP.	TEMPERED
@	AT	H.D.G.	HOT-DIPPED GALVANIZED	T & G	TONGUE & GROOVE
ABV.	ANCHOR BOLT	HDR.	HEADER	THK.	THICK
ABV.	ABOVE	HDW.	HARDWOOD	THRU	THROUGH
ACOUS.	ACOUSTICAL	HGT.	HEIGHT	TN.	TOENAIL
A.D.	AREA DRAIN	H.H.B.	HEX HEAD BOLT	T.O.	TOP OF
ADJ.	ADJUSTABLE	H.H.C.S.	HEX HEAD CAP SCREW	T.O.P.	TOP OF PLATE
A.F.F.	ABOVE FINISH FLOOR	H.M.	HOLLOW METAL	T.O.S.	TOP OF SLAB / SHEATHING
AGGR.	AGGREGATE	HORIZ.	HORIZONTAL	T.R.C.	TRASH, RECYCLING, COMPOST
ALUM.	ALUMINUM	HP	HEAT PUMP	T.V.	TELEVISION
ALT.	ALTERNATE	H.R.	HAND RAIL	T.O.W.	TOP OF WALL
APPROX.	APPROXIMATE	HR.	HOUR/W. HOT WATER	TYP.	TYPICAL
ARCH.	ARCHITECT	I.D.	INSIDE DIAMETER	UNF.	UNFINISHED
ARCH'L	ARCHITECTURAL	INSUL.	INSULATION	U.O.N.	UNLESS OTHERWISE NOTED
ASPH.	ASPHALT	INT.	INTERIOR	UR.	URINAL
B.	BATHROOM	INV.	INVERT	VAR.	VARIES
BD.	BOARD	JAN.	JANITOR	V.C.T.	VINYL COMPOSITION TILE
B.H.C.S.	BUTTON HEAD CAP SCREW	JT.	JOINT	VER.	VERIFY
BITUM.	BITUMINOUS	KIT.	KITCHEN	VERT.	VERTICAL
BLDG.	BUILDING	LAM.	LAMINATE	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
BLK.	BLOCKING	LV	LAVATORY	V.I.F.	VERIFY IN FIELD
BM.	BEAM	LBS.	POUNDS	W.	WEST
BMR	BELOW MARKET RATE (UNIT)	LBR.	LOCKER	W/	WITH
B.O.	BOTTOM OF	LOC.	LOCATION	W.C.	WATER CLOSET (TOILET)
BR.	BEDROOM	LTG.	LIGHTING	WD.	WOOD
BTM.	BOTTOM	L.M.	LAMINATE	W/D	WASHER / DRYER
B.U.R.	BUILT-UP ROOFING	LV	LAVATORY	WDW.	WINDOW
CAB.	CABINET	LV	LAVATORY	W.G.	WIRE GLASS
C.B.	CATCH BASIN	L.V.	LAVATORY	W.H.	WATER HEATER
CHAN.	CHANNEL	LBS.	POUNDS	W.M.	WALL MOUNT
C.H.	CEILING HEIGHT	LBR.	LOCKER	W.O.	WHERE OCCURS
C.I.	CAST IRON	LOC.	LOCATION	W/O	WITHOUT
C.J.	CAST IRON	L.M.	LAMINATE	WP.	WATERPROOFING
C.J.	CONTROL JOINT	LV	LAVATORY	WR.	WATER RESISTANT
C.L.	CENTER LINE	LNG.	LOCKER	WST.	WAINSCOT
C.G.	CORNER GUARD	LNG.	LIGHTING	WT.	WEIGHT
CLG.	CEILING	LNG.	LIGHTING	W.W.F.	WIRE WELDED FABRIC
CLKG.	CAULKING	LNG.	LIGHTING	W.W.M.	WOVEN WIRE MESH
C.L.O.	CLOSET	MACH.	MACHINE		
C.O.	CLEAN OUT	MATL.	MATERIAL		
CLR.	CLEAR	MAX.	MAXIMUM		
COL.	COLUMN	M.B.	MACHINE BOLT		
COMP.	COMPOSITION	M.C.	MEDICINE CABINET		
CONC.	CONCRETE	M.D.F.	MEDIUM DENSITY FIBERBOARD		
CONN.	CONNECTION	M.D.O.	MEDIUM DENSITY OVERLAY (BOARD)		
CONST.	CONSTRUCTION	MECH.	MECHANICAL		
CONT.	CONTINUOUS	MEMB.	MEMBRANE		
C.M.U.	CONCRETE MASONRY UNIT	MFR.	MANUFACTURER		
C.T.	CERAMIC TILE	MH.	MANHOLE		
CTR.	CENTER	MIN.	MINIMUM / MINUTE		
CTSK.	COUNTERSINK	MISC.	MISCELLANEOUS		
C.W.	COLD WATER	M.P.	MEASURING POINT		
		M.P.P.	MASS PLYWOOD PANEL		
		MTD.	MOUNTED		
		MTL.	METAL		
		MUL.	MULLION		
		(N)	NEW		
		N.	NORTH		
		NAT.	NATURAL		
		N.I.C.	NOT IN CONTACT		
		NO.	NUMBER		
		NOM.	NOMINAL		
		N.T.S.	NOT TO SCALE		
		OBS.	OBSOLETE		
		O.C.	ON CENTER		
		O.D.	OUTSIDE DIAMETER (DIM.)		
		OPER.	OPERABLE		
		OPNG.	OPENING		
		OPP.	OPPOSITE		
		OPP. HD.	OPPOSITE HAND		
		O.S.B.	ORIENTED STRAND BOARD		
		PAV.	PAVING		
		PERF.	PERFORATED		
		PERP.	PERPENDICULAR		
		PL.	PLATE		
		P.L.	PROPERTY LINE		
		P.L.A.M.	PLASTIC LAMINATE		
		PLAS.	PLASTER		
		P.L.W.D.	PLYWOOD		
		PR.	PAIR		
		PROP.	PROPERTY		
		PT.	PAINT		
		P.T.	PRESSURE TREATED		
		PTD.	PAINTED		
		PV	PHOTOVOLTAIC		
		P.V.C.	POLYVINYL CHLORIDE		
		Q.T.	QUARRY TILE		
		QTY.	QUANTITY		
		R.	RISER		
		RAD.	RADIUS		
		R.C.	RESILIENT CHANNEL		
		R.C.P.	REFLECTED CEILING PLAN		
		R.D.	ROOF DRAIN		
		REF.	REFERENCE		
		REFR.	REFRIGERATOR		
		REG.	REGISTER		
		REINF.	REINFORCED		
		REOD.	REQUIRED		
		REQMT.	REQUIREMENT(S)		
		RESIL.	RESILIENT		
		REV.	REVISION		
		R.H.W.S.	ROUND HEAD WOOD SCREW		
		R.H.M.S.	ROUND HEAD MACHINE SCREW		
		RM.	ROOM		
		R.O.	ROUGH OPENING		
		R.W.	RESCUE WINDOW		
		RWD.	REDWOOD		
		R.W.L.	RAINWATER LEADER		
		S.	SOUTH		
		S.A.D.	SEE ARCHITECTURAL DWGS.		
		S.C.	SOLID CORE		
		S.C.D.	SEE CIVIL DRAWINGS		
		SCHED.	SCHEDULE		
		S.E.D.	SEE ELECTRICAL DRAWINGS		
		SECT.	SECTION		
		S.G.	SAFETY GLAZING		
		S.H.C.S.	SOCKET HEAD CAP SCREW		
		SHT.	SHEET		
		SHTG.	SHEATHING		
		SIM.	SIMILAR		
		S.I.J.	SEISMIC JOINT		
		S.I.D.	SEE LANDSCAPE DWGS.		
		S.M.D.	SEE MECHANICAL DWGS.		
		SPEC.	SPECIFICATION		
		SQ.	SQUARE		
		S.S.D.	SEE STRUCTURAL DWGS.		
		S.S.	STAINLESS STEEL		
		STA.	STATION		
		STL.	STEEL		
		STD.	STANDARD		
		STOR.	STORAGE		
		STRUC.	STRUCTURAL		
		SUSP.	SUSPENDED		

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ENERGY CODE, 2022 EDITION
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ALL AMENDMENTS AS ADOPED IN CHAPTER 13 OF THE TOWN OF TIBURON MUNICIPAL CODE (TMC), AND ALL OTHER CODES, REGULATIONS, AND APPROVALS ESTABLISHED BY THE TOWN OF TIBURON.

ALSO REFERENCE CALIFORNIA STATE LAWS SB-684, SB-1123, & AB-130 REGARDING SMALL LOT SUBDIVISION

GENERAL NOTES

- CONTRACTOR TO VERIFY CONDITIONS AND DIMENSIONS AT THE SITE. BRING ANY INCONSISTENCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DRAWING SHALL GOVERN OVER SMALL SCALE DRAWING. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICTS IN WRITING PRIOR TO COMMENCEMENT OF WORK.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- COORDINATE EXACT LOCATION OF ALL ELECTRICAL FIXTURES, CONTROLS, DEVICES AND OUTLETS WITH ARCHITECT IN THE FIELD.
- COORDINATE EXACT LOCATION OF MECHANICAL EQUIPMENT, DUCTS, GRILLES, REGISTERS, FLUES, AND VENTS WITH ARCHITECTURAL DRAWINGS.
- INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER.
- PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR: LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, HEATING EQUIPMENT, CASEWORK, AND ALL OTHER ITEMS REQUIRING SUPPORT.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING ON-SITE UTILITIES DURING CONSTRUCTION.
- ANY QUESTIONS REGARDING THE INTENT RELATED TO THE LAYOUT OF THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.

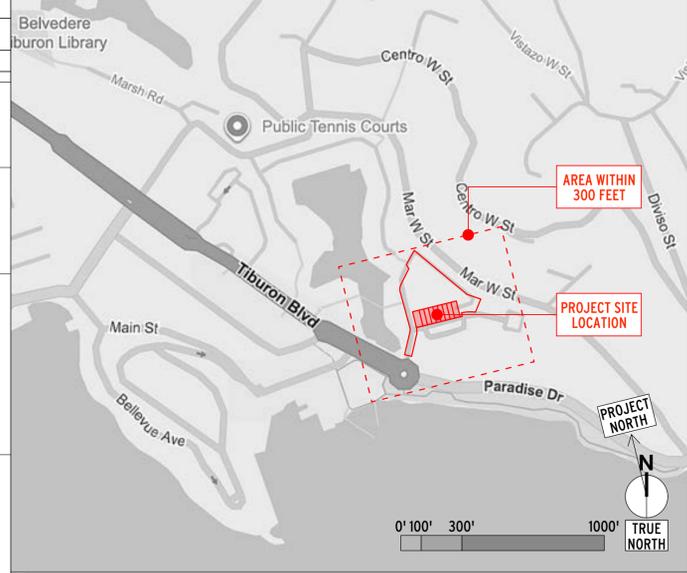
PLANNING DATA - ZONING COMPLIANCE

ADDRESS	1801 TIBURON BLVD., TIBURON, CA 94920		
ASSESSOR'S PARCEL NUMBER	059-161-12		
LAND USE ZONE DISTRICT	NC - "NEIGHBORHOOD COMMERCIAL ZONE"		
	NC - NEIGHBORHOOD COMMERCIAL ZONE	PROPOSED PROJECT	ZONING COMPLIANCE
	TMC 16-22		
1. RESIDENTIAL USE	PERMITTED	(9) DETACHED SINGLE-FAMILY "TOWNHOME-STYLE" UNITS WITH PRIVATE 2-CAR GARAGES ON INDIVIDUAL LOTS	COMPLIANT
2. MINIMUM LOT AREA	10,000 SF TMC 16-22.040 TABLE 2-3	(9) INDIVIDUAL LOTS RANGING IN SIZE FROM 1,840 SF TO 2,600 SF PARCEL-1 = 2,640 SF PARCELS-2 TO 8 = 1,840 SF PARCEL-9 = 2,200 SF TOTAL LOT AREA = 17,720 SF / 0.41 AC DENSITY = 22 DU / AC	NON-COMPLIANT NOTE: SB-684, SB-1123, & AB-130 ALLOW A LOT AREA OF 600 SF MIN.
3. HEIGHT LIMIT	38 FEET TMC 16-22.040 TABLE 2-3, NOTE 2: "FOR DOWNTOWN PROPERTIES WITH FRONTAGE ON TIBURON BOULEVARD, 38 FEET, AND NO MORE THAN 3 STORIES, IS ALLOWED."	38'-0" MAX. THE "HOST" PARCEL HAS FRONTAGE ON TIBURON BOULEVARD	COMPLIANT
4. MAXIMUM FAR	0.37 TMC 16-22-040 TABLE 2-3	PARCEL-1 = 0.67 PARCELS-2 TO 8 = 0.95 PARCEL-9 = 0.78 AVERAGE UNIT FLOOR AREA = 1,749.9 SF	NON-COMPLIANT NOTE: SB-684 ALLOWS AN FAR OF 1.25 & A MAXIMUM AVERAGE FLOOR AREA OF 1,750 SF
5. PARKING SPACES NUMBER	(2) SPACES PER SINGLE-FAMILY DWELLING TMC 16-22-040 TABLE 3-1	(2) SPACES PER EACH SINGLE-FAMILY DWELLING UNIT (IN PRIVATE GARAGES)	COMPLIANT
6. PARKING SPACE DIMENSIONS	8'-6" WIDE X 18'-0" DEEP TMC 16-32-080 TABLE 3-2	8'-6" WIDE X 18'-0" DEEP	COMPLIANT
7. INCLUSIONARY UNITS NUMBER & AMI LEVEL	(1) SPECIAL NEEDS UNIT "LARGE FAMILY HOUSEHOLD" - 3 BEDROOMS MIN. TMC 16-70.030.B.1	(1) MODERATE INCOME UNIT 15% X 9 UNITS = 1.35 UNITS; ROUND DOWN TO (1) UNIT	COMPLIANT
8. INCLUSIONARY UNITS SPECIAL NEEDS	(1) SPECIAL NEEDS UNIT "LARGE FAMILY HOUSEHOLD" - 3 BEDROOMS MIN. TMC 16-70.030.B.1	(1) SPECIAL NEEDS UNIT "LARGE FAMILY HOUSEHOLD" - 3 BEDROOMS MIN. 10% X 9 UNITS = 0.9 UNITS ROUND UP TO (1) UNIT	COMPLIANT
9. INCLUSIONARY UNITS HANDICAP ACCESSIBLE	(0) HANDICAPPED ACCESSIBLE UNITS TMC 16-70.030.B.1 "...FIVE PERCENT OF THE TOTAL NUMBER OF UNITS MUST BE HANDICAPPED ACCESSIBLE UNITS AS DEFINED IN THIS ARTICLE." TMC 16-100.020.H DEFINITIONS "HANDICAPPED ACCESSIBLE UNIT" TMC 16-12.030.F.3	(0) HANDICAPPED ACCESSIBLE UNITS 5% X 9 UNITS = 0.45 UNITS ROUND DOWN TO (0) UNITS	COMPLIANT

PROJECT DIRECTORY

M.E.P. ENGINEER: T.B.D.	CIVIL ENGINEER - SURVEYOR: SHERWOOD DESIGN ENGINEERS 1665 2ND STREET NAPA, CA 94559 CONTACT: RYAN GREGORY PHONE: (415) 677-7300 X428 EMAIL: rgregory@sherwoodengineers.com	LANDSCAPE ARCHITECT: URBAN FIELD STUDIO 2169 FOLSOM STREET SAN FRANCISCO, CA 94110 CONTACT: JOHN BELA PHONE: (415) 551-8257 EMAIL: john@urbanfieldstudio.com	ARCHITECT: MACY ARCHITECTURE 466 GEARY STREET, SUITE 500 SAN FRANCISCO, CA 94102 CONTACT: JOHN BELA PHONE: (415) 551-7638 EMAIL: keith@macyarchitecture.com
CONTRACTOR: T.B.D.	GEOTECHNICAL ENGINEER: T.B.D.	STRUCTURAL ENGINEER: T.B.D.	OWNER: BOV 1801 TIBURON, LLC CONTACT: CHRIS FRASER PHONE: (707) 479-0693 EMAIL: chris@blackoakgroup.co

VICINITY MAP



PROJECT SUMMARY

EXISTING CONDITIONS:
THE SITE IS AN APPROX. 2-ACRE PARCEL (APN: 059-161-12) CONTAINING A SURFACE PARKING LOT. IT IS LOCATED AT 1801 TIBURON BLVD., TIBURON, CA 94920.

PROJECT DESCRIPTION:
THE PROJECT IS A SUBDIVISION OF THE SITE INTO 9 SMALLER PARCELS PLUS A LARGER "REMAINDER" PARCEL THAT WILL CONTINUE TO SERVE AS A SURFACE PARKING LOT.

EACH OF THE SMALLER PARCELS WILL CONTAIN A DETACHED, SINGLE-FAMILY TOWNHOME OF 3 STORIES, WITH A TWO-CAR GARAGE AND A PARTIAL STORAGE CELLAR.

THE PROJECT IS TO BE MINISTERIALLY APPROVED (NOT SUBJECT TO CEQA) PER STATE LAWS SB-684 AND SB-1123 / AB-130.

BUILDING DATA

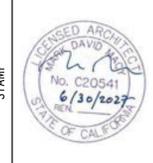
	EXISTING	PROPOSED	CHANGE	REMARKS
OCCUPANCY TYPES	--	R-3, U	R-3, U ADDED	
CONSTRUCTION TYPE	--	TYPE-VB	--	
BUILDING HEIGHT	--	38'-0" MAX.	--	
NUMBER OF STORIES	--	3 STORIES	--	
FIRE SPRINKLERS	--	YES	--	

BUILDING AREA SUMMARY*	NET SQUARE FEET	GROSS SQUARE FEET
PARCEL-1	1,749.9 NSF	2,545.9 GSF
PARCEL-2	1,749.9 NSF	2,545.9 GSF
PARCEL-3	1,749.9 NSF	2,545.9 GSF
PARCEL-4	1,749.9 NSF	2,545.9 GSF
PARCEL-5	1,749.9 NSF	2,545.9 GSF
PARCEL-6	1,749.9 NSF	2,545.9 GSF
PARCEL-7	1,749.9 NSF	2,545.9 GSF
PARCEL-8	1,749.9 NSF	2,545.9 GSF
PARCEL-9	1,749.9 NSF	2,545.9 GSF
TOTAL BUILDING AREAS	15,749.1 NSF	22,913.1 GSF

*NOTE: GSF BUILDING AREAS CALCULATED PER 2022 TIBURON MUNICIPAL CODE; NSF BUILDING AREAS CALCULATED PER SB 684, SB 1123, & AB 130.

MACY ARCHITECTURE

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PROJECT

ISSUES/REVISIONS

SHEET TITLE

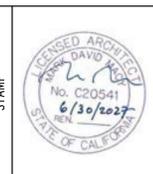
TIBURON TOWNHOMES

APN: 059-161-12
1801 TIBURON BLVD., TIBURON, CA 94920

PROJECT DATA			
DATE	PHASE	SCALE	AS NOTED
11/22/2025	PLANNING PERMIT SUBMITTAL		

SHEET

A0.01.1



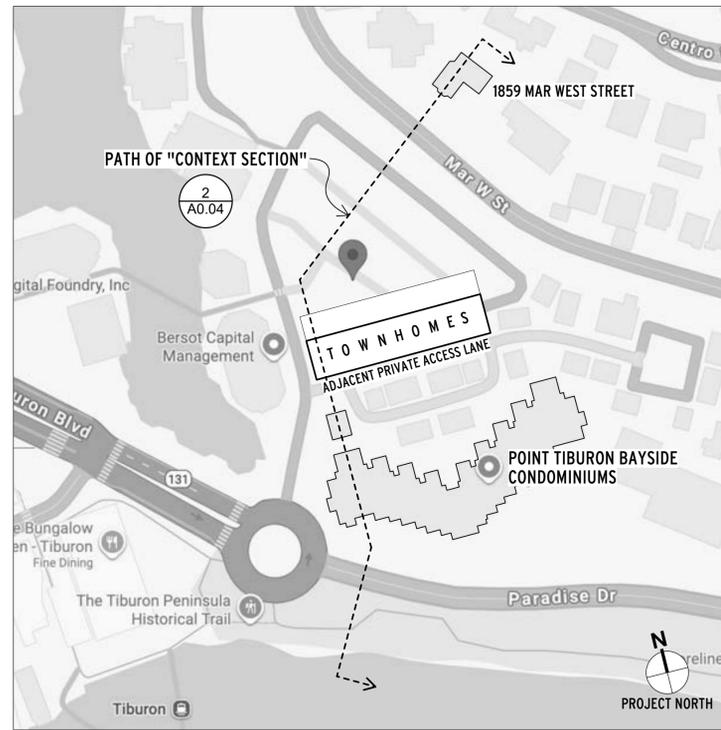
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CONSULTANTS

PROJECT
TIBURON TOWNHOMES
APN: 059-161-12
1801 TIBURON BLVD., TIBURON, CA 94920

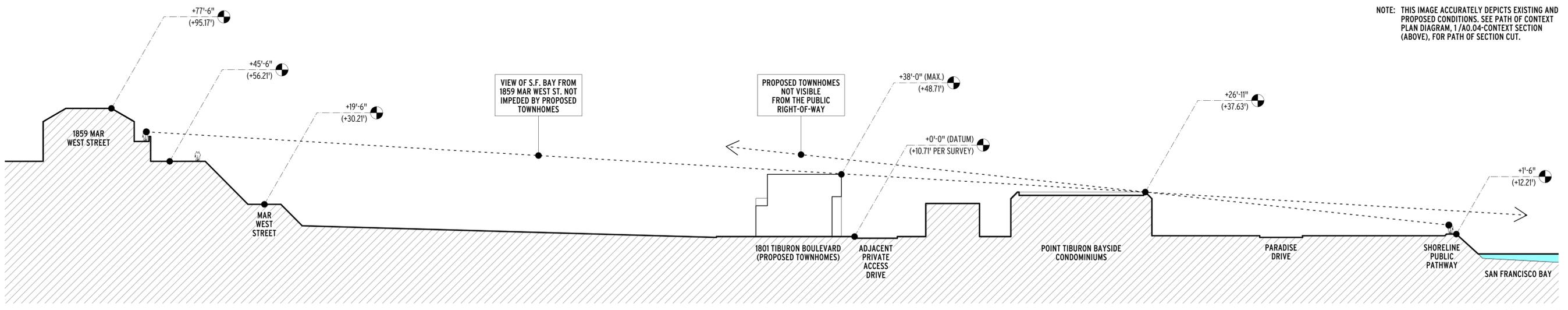
ISSUES/REVISIONS

SHEET TITLE	
SITE CONTEXT PLAN	
DATE	11/2/2025
PHASE	PLANNING PERMIT SUBMITTAL
SCALE	AS NOTED

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1 PATH OF CONTEXT SECTION
A0.04 Scale: N.T.S.



2 CONTEXT PLAN
A0.04 Scale: 1" = 30'-0"

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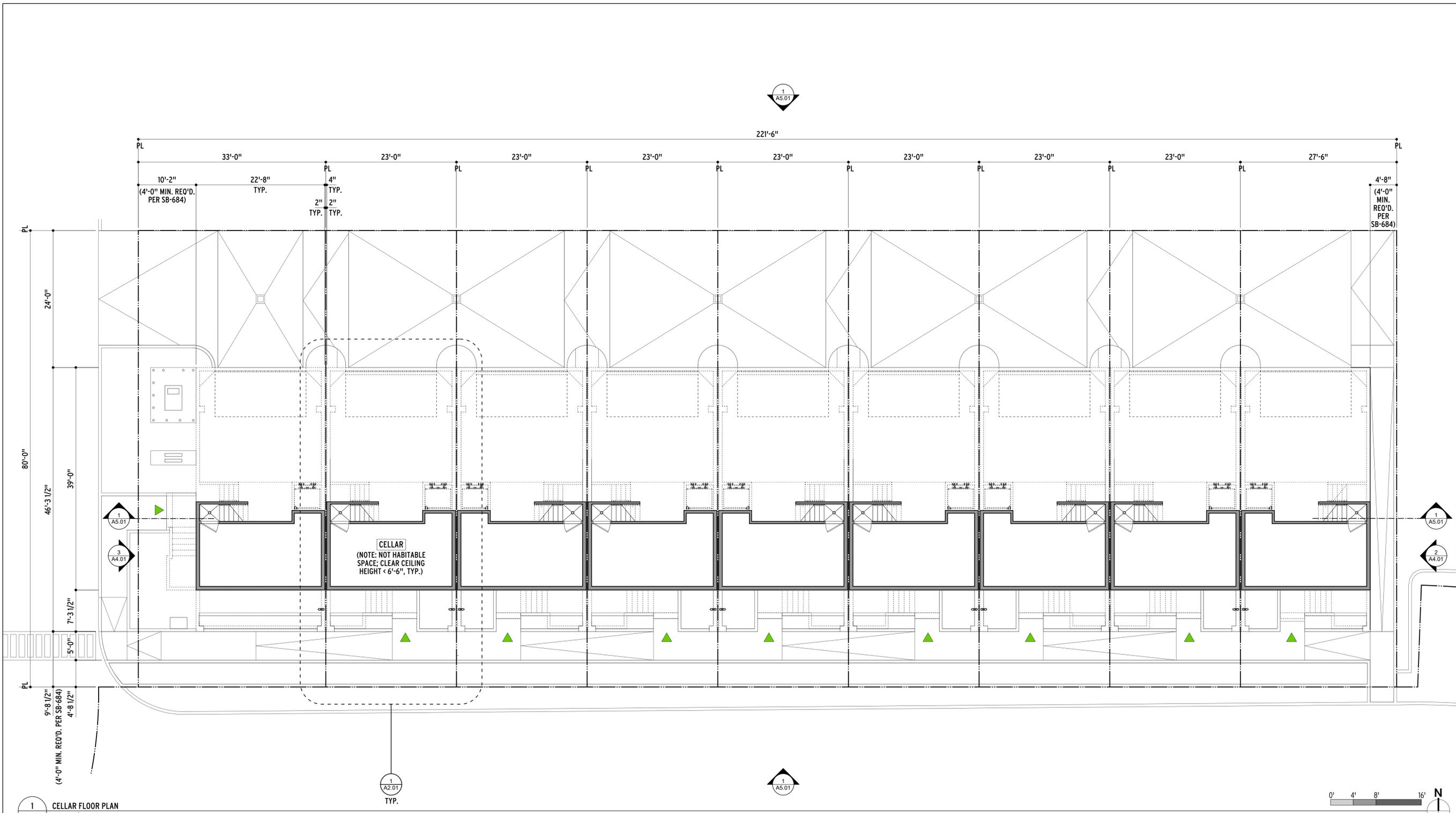
APN: 059-161-12
1801 TIBURON BLVD., TIBURON, CA 94920

ISSUES/REVISIONS

SHEET TITLE
CONTEXT SECTION

SHEET
A0.04

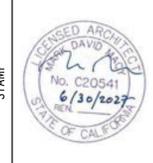
DATE	11/22/2025
PHASE	PLANNING PERMIT SUBMITTAL
SCALE	AS NOTED



1
A1.00 CELLAR FLOOR PLAN
Scale: 1/8" = 1'-0"

NOTES

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ISSUES/REVISIONS

SHEET TITLE
CELLAR FLOOR PLAN

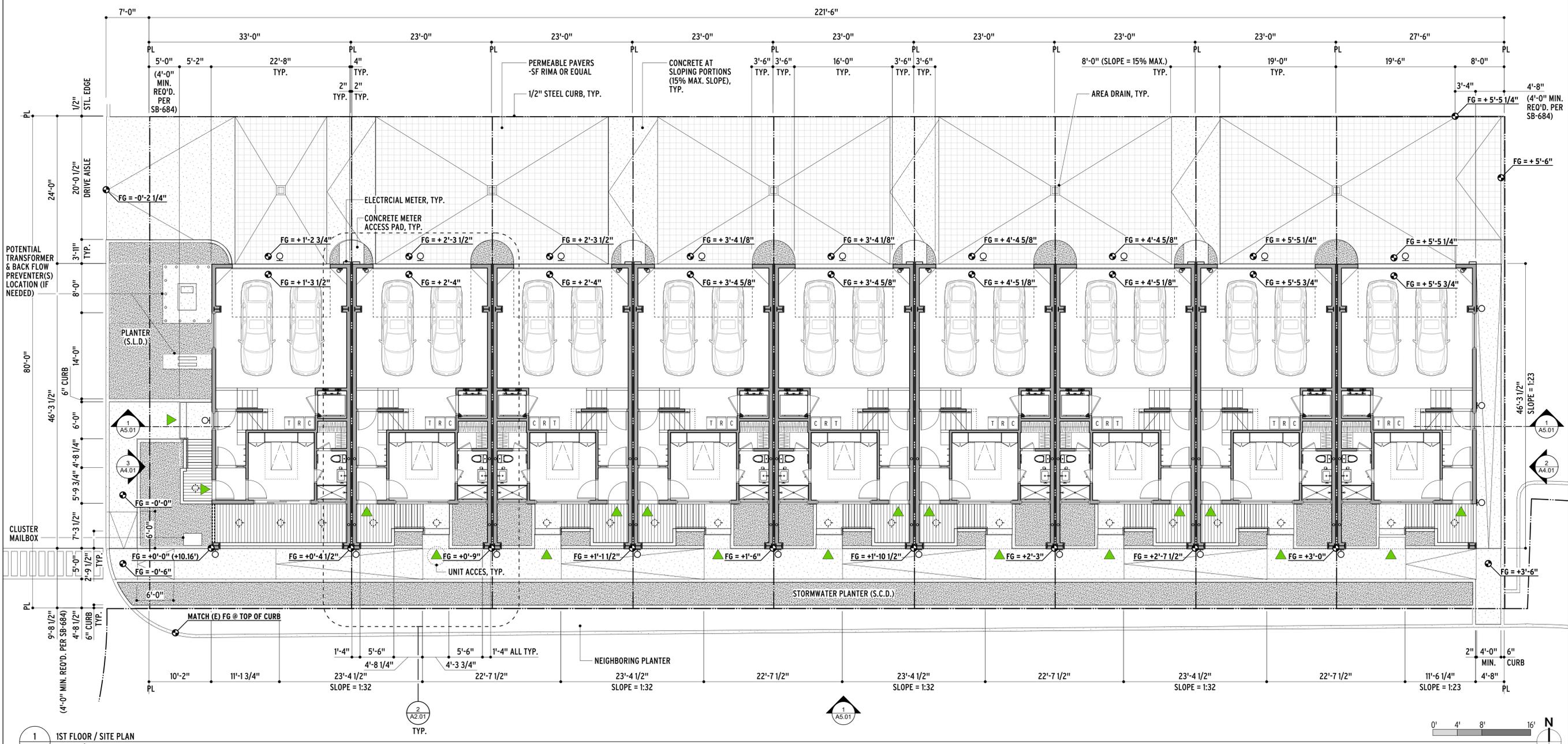
DATE	11/22/2025
PHASE	PLANNING PERMIT SUBMITTAL
SCALE	1/8" = 1'-0"

SHEET

A1.00

DENSITY CALCULATION	
TOTAL LOT AREA (SF / AC)	17,720 SF / 0.41 ACRES
DWELLING UNITS (DU'S)	9 DU'S
DENSITY	22 DU'S / ACRES

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1 A1.01 1ST FLOOR / SITE PLAN
 Scale: 1/8" = 1'-0"

- NOTES**
- SEE SHEET A9.05 "EXTERIOR MATERIALS & LIGHTING SCHEDULE" FOR MORE LIGHTING INFORMATION.
 - SEE SHEET A0.01.1 "PROJECT DATA" FOR VICINITY MAP, PLANNING DATA, AND ZONING COMPLIANCE.
 - SEE SHEET TML.0 "EXISTING CONDITIONS" FOR EXISTING CONDITIONS, TREES & PLANTED AREAS, UTILITIES, & EASEMENTS / DEDICATIONS.
 - SEE SHEET L1.0 "PLANTING PLAN & SCHEDULE" FOR ALL PROPOSED PLANTED AREAS.

EXTERIOR LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION
L1	⊙	CEILING-MOUNTED DOWN LIGHT
L2	⊙	WALL-MOUNTED DOWN LIGHT

STAMP

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PROJECT
TIBURON TOWNHOMES

ISSUES/REVISIONS

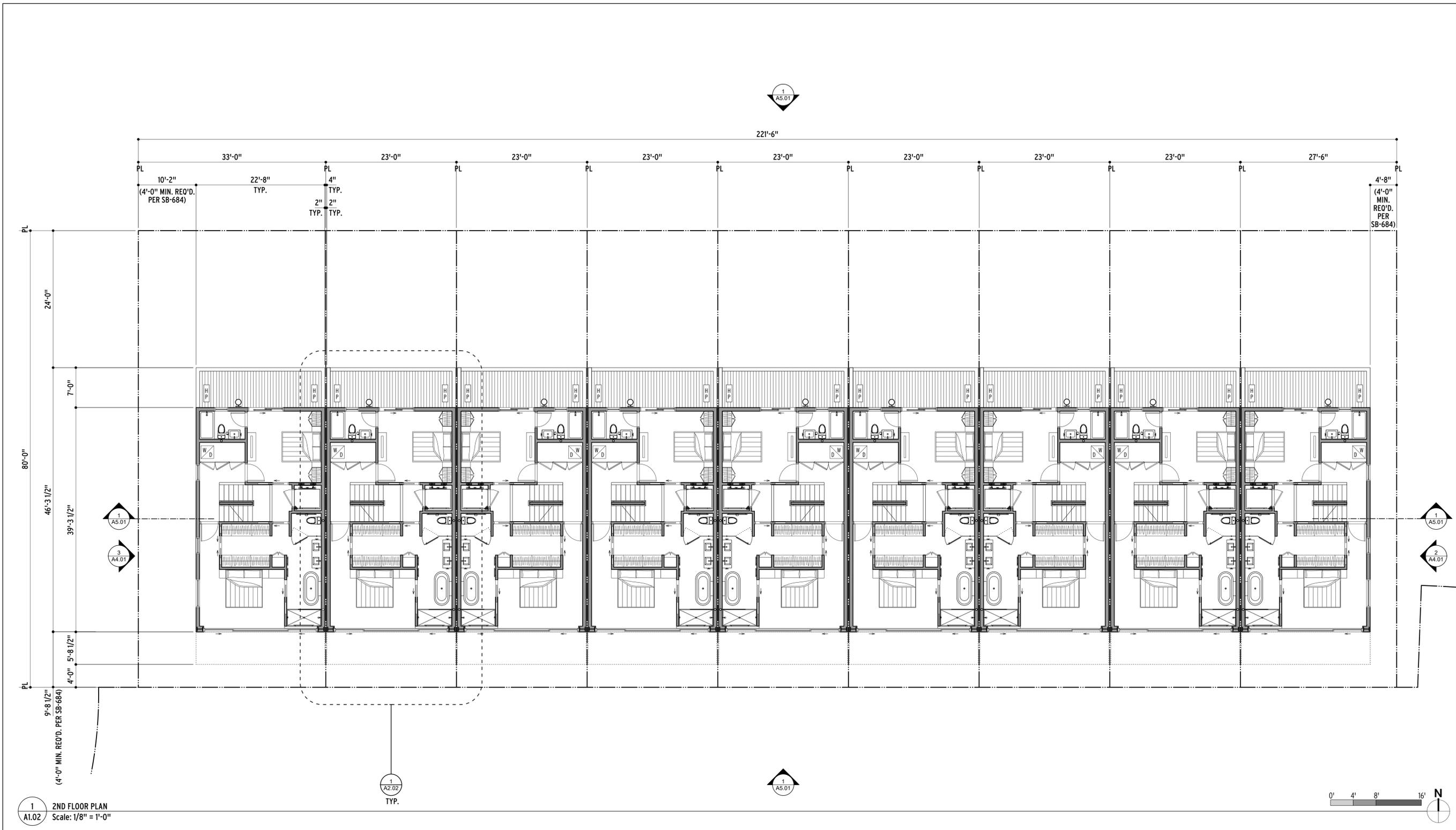
SHEET TITLE

SHEET

APN: 059-161-12
 1801 TIBURON BLVD., TIBURON, CA 94920

DATE	PHASE	SCALE
11/22/2025	PLANNING PERMIT SUBMITTAL	1/8" = 1'-0"

A1.01



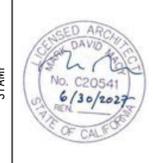
1
A1.02 2ND FLOOR PLAN
Scale: 1/8" = 1'-0"

NOTES
1. SEE SHEET A9.05-EXTERIOR MATERIALS & LIGHTING SCHEDULE FOR MORE LIGHTING INFORMATION.

EXTERIOR LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION
L1		CEILING-MOUNTED DOWN LIGHT
L2		WALL-MOUNTED DOWN LIGHT

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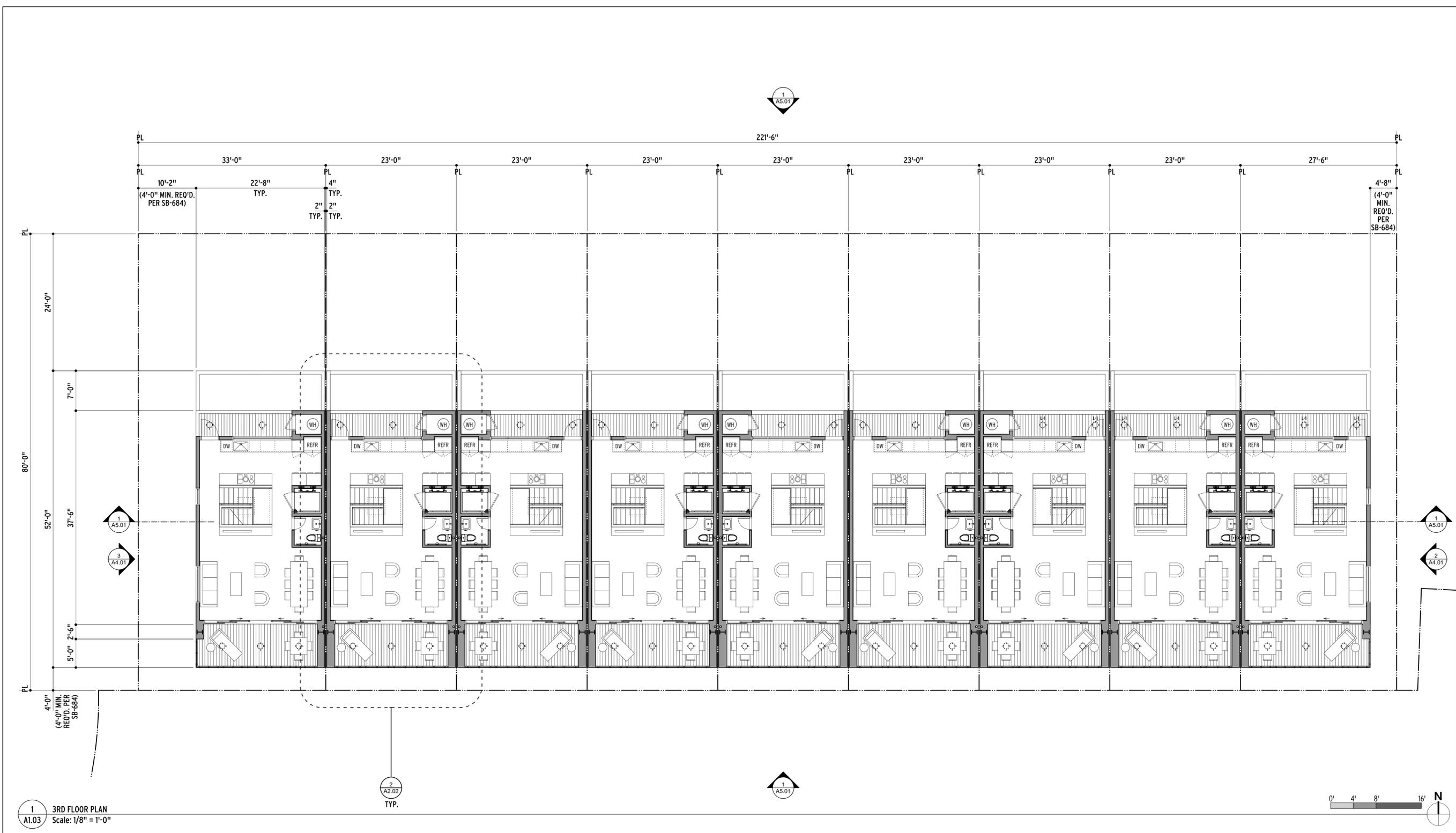
STAMP
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TIBURON TOWNHOMES
APN: 059-161-12
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ISSUES/REVISIONS

SHEET TITLE	DATE	PHASE	SCALE
2ND FLOOR PLAN	11/22/2025	PLANNING PERMIT SUBMITTAL	AS NOTED

SHEET
A1.02



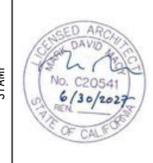
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A1.03 3RD FLOOR PLAN
Scale: 1/8" = 1'-0"

NOTES
1. SEE SHEET A9.05-EXTERIOR MATERIALS & LIGHTING SCHEDULE FOR MORE LIGHTING INFORMATION.

EXTERIOR LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION
L1	⊙	CEILING-MOUNTED DOWN LIGHT
L2	⊖	WALL-MOUNTED DOWN LIGHT

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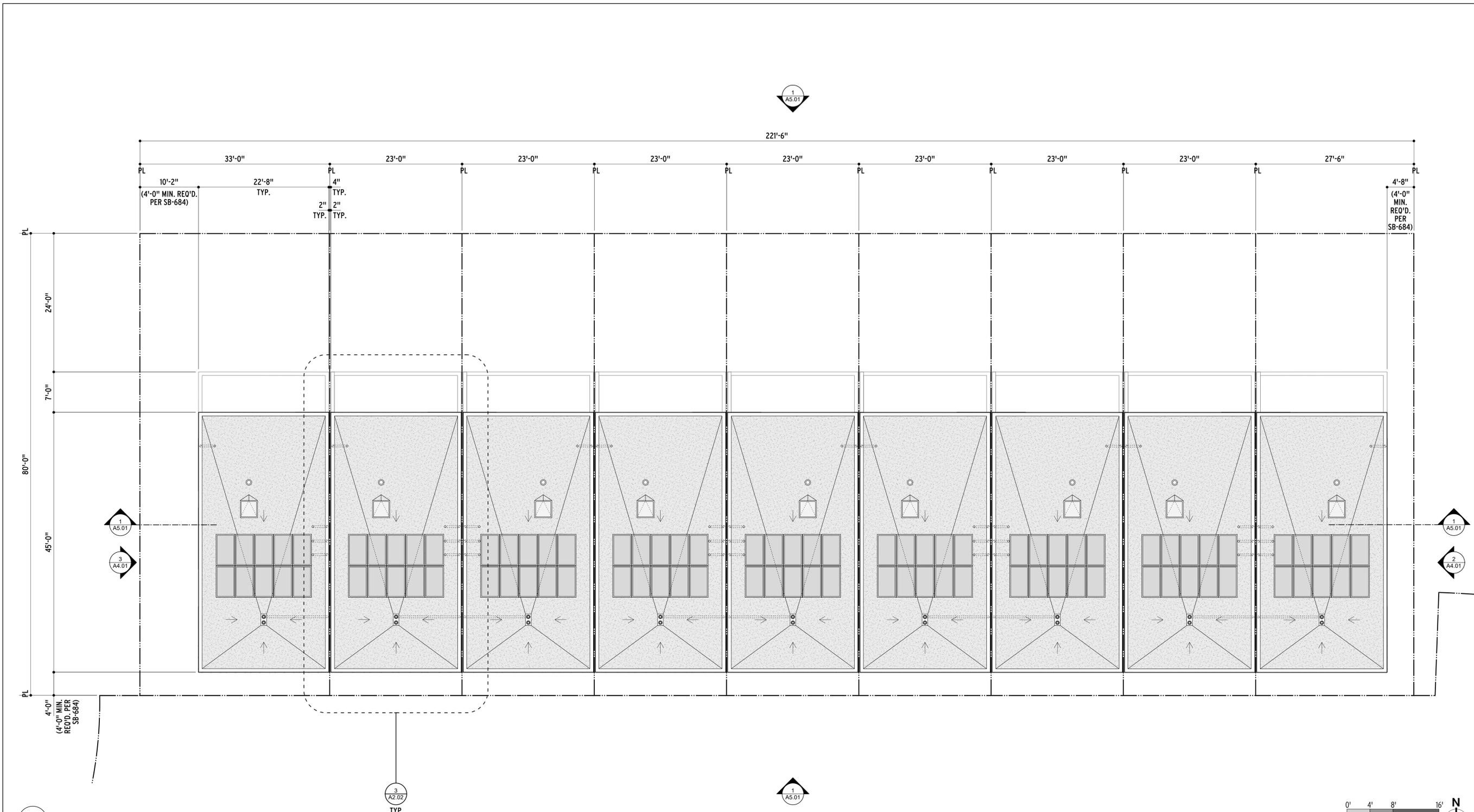
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CONSULTANTS

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TIBURON TOWNHOMES
APN: 059-1612
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ISSUES/REVISIONS

SHEET TITLE	DATE	PHASE	SCALE
3RD FLOOR PLAN	11/22/2025	PLANNING PERMIT SUBMITTAL	AS NOTED

SHEET
A1.03

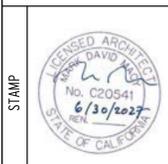


1 ROOF PLAN
A1.04 Scale: 1/8" = 1'-0"

NOTES

ISSUES/REVISIONS	

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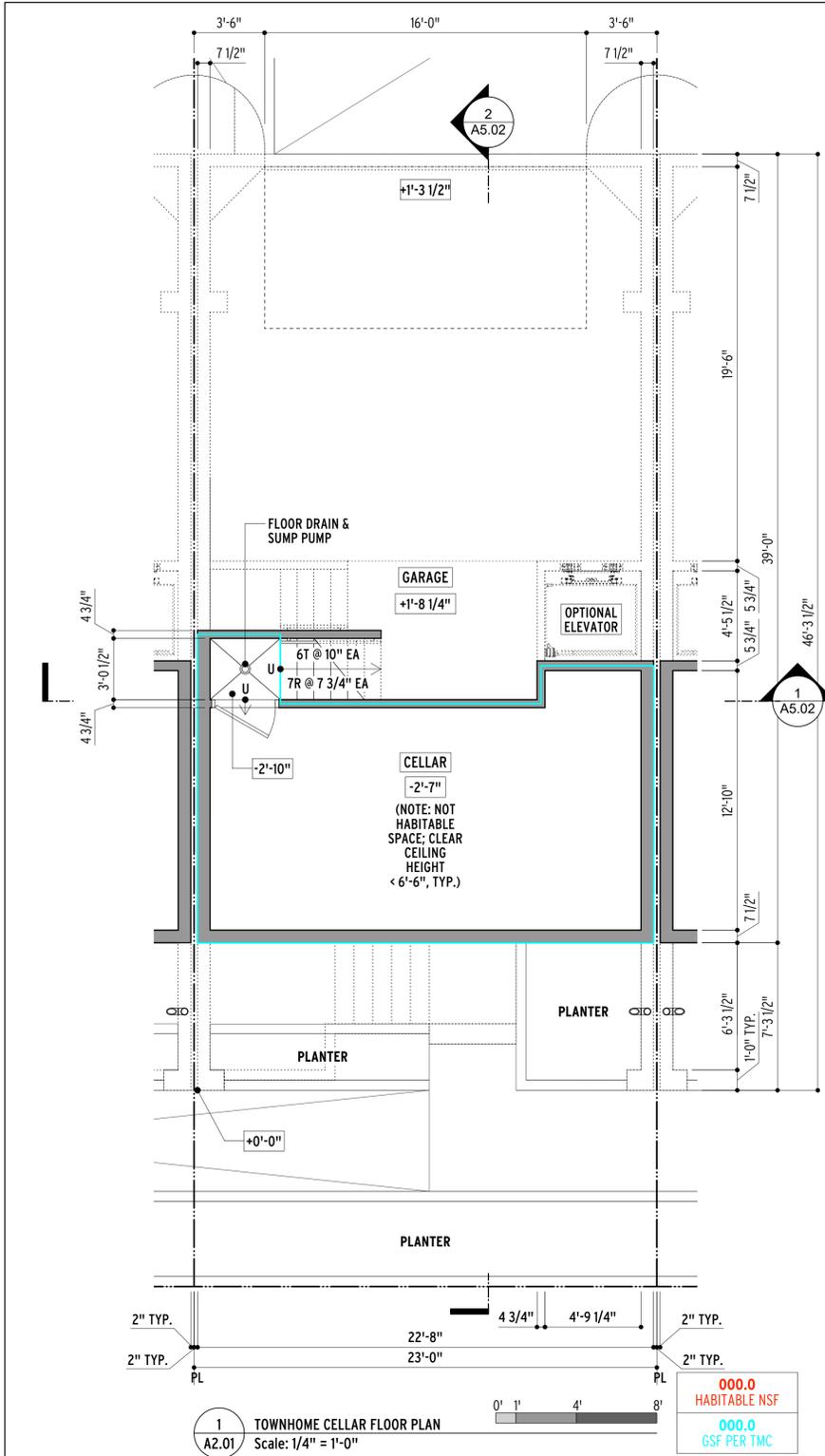
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TIBURON TOWNHOMES
APN: 059-161-12
1801 TIBURON BLVD., TIBURON, CA 94920

SHEET TITLE	

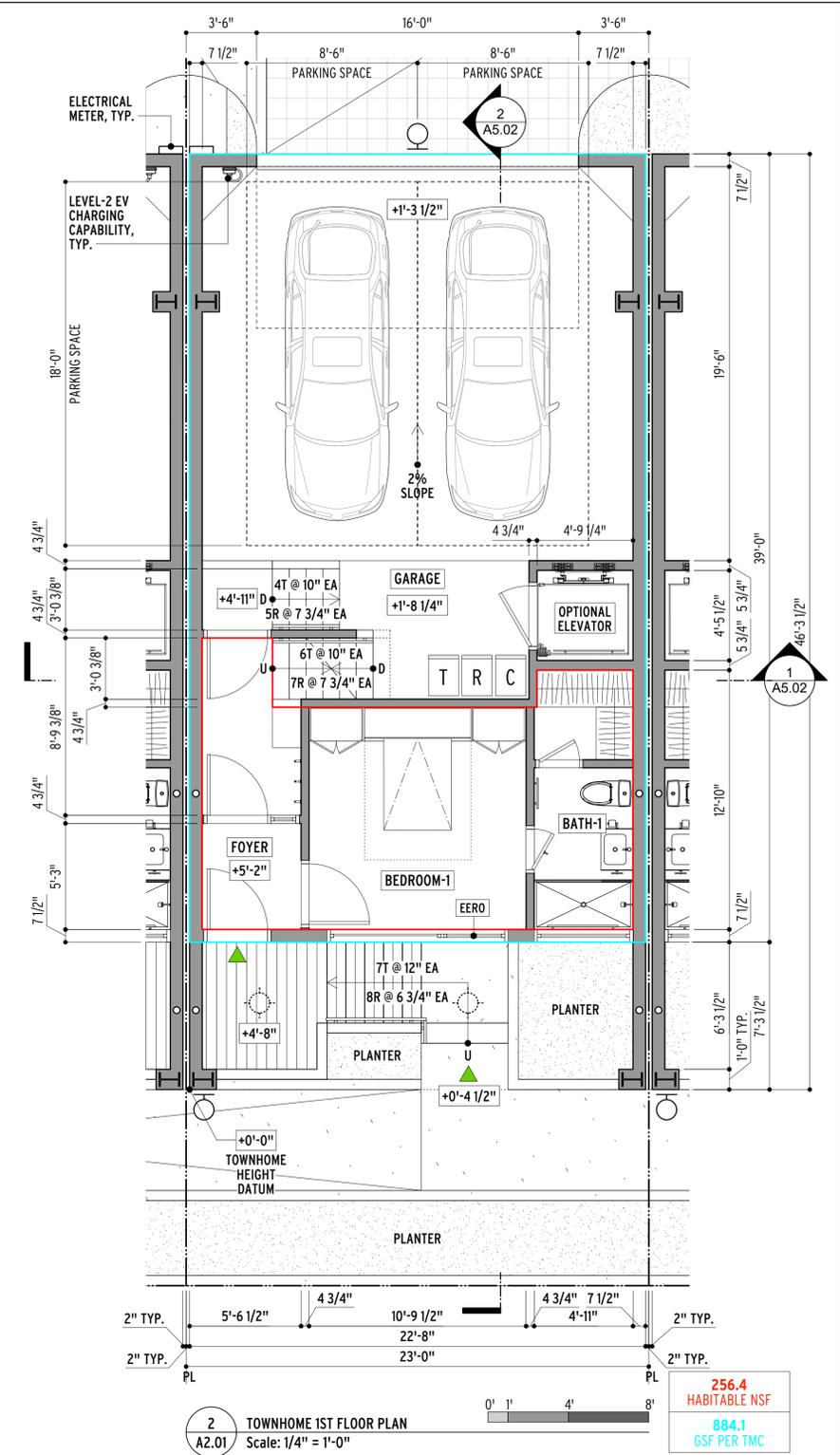
SHEET TITLE	

SHEET
A1.04



1 TOWNHOME CELLAR FLOOR PLAN
Scale: 1/4" = 1'-0"

000.0 HABITABLE NSF
000.0 GSF PER TMC



2 TOWNHOME 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"

256.4 HABITABLE NSF
884.1 GSF PER TMC

NOTES
1. SEE SHEET A9.05-EXTERIOR MATERIALS & LIGHTING SCHEDULE FOR MORE LIGHTING INFORMATION.

EXTERIOR LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION
L1		CEILING-MOUNTED DOWN LIGHT
L2		WALL-MOUNTED DOWN LIGHT

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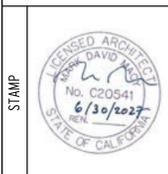
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APN: 059-161-12
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ISSUES/REVISIONS

SHEET TITLE	DATE	PHASE	SCALE
ENLARGED TYPICAL TOWNHOME PLANS-1	11/22/2025	PLANNING PERMIT SUBMITTAL	AS NOTED

SHEET **A2.01**



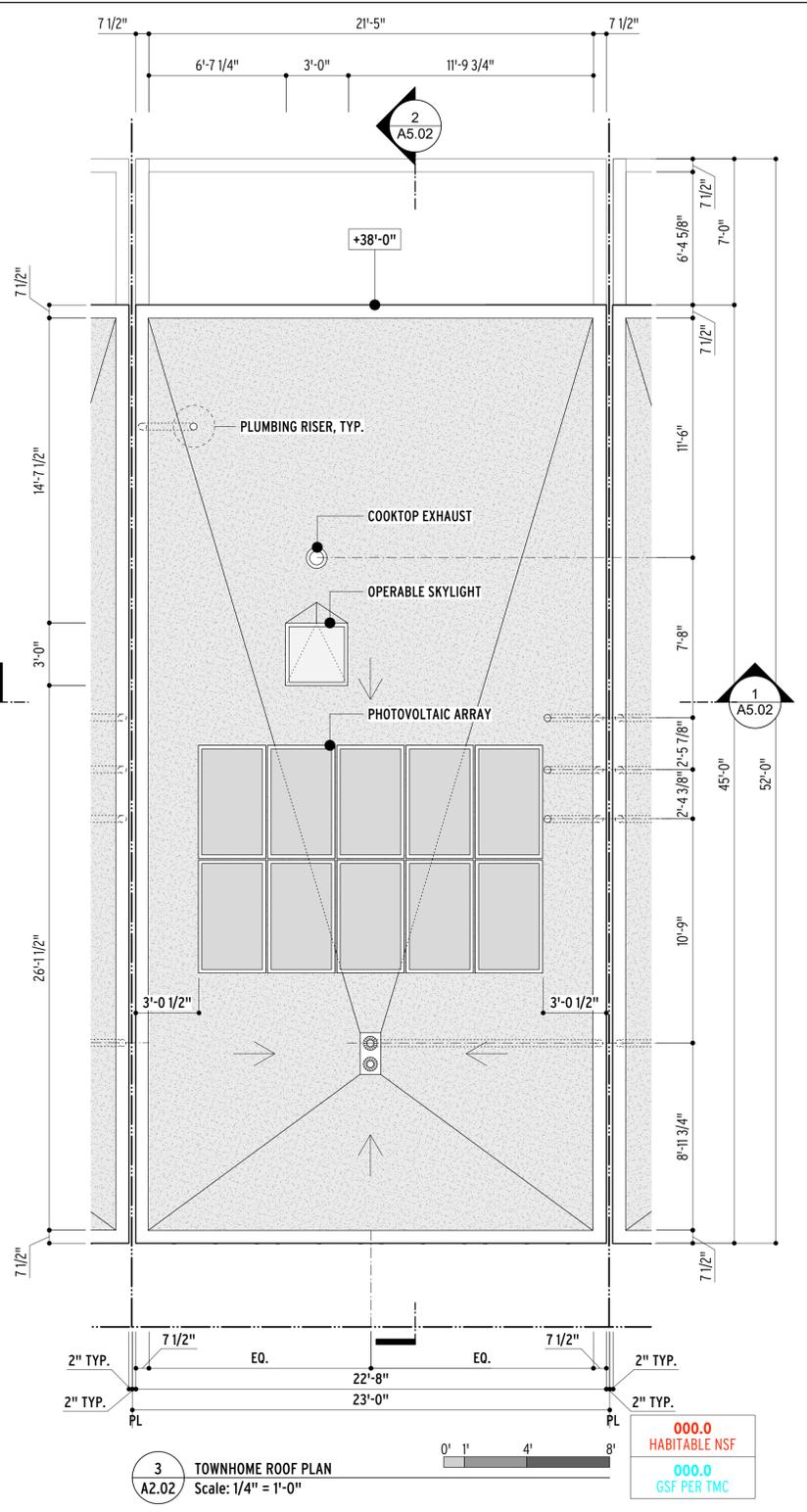
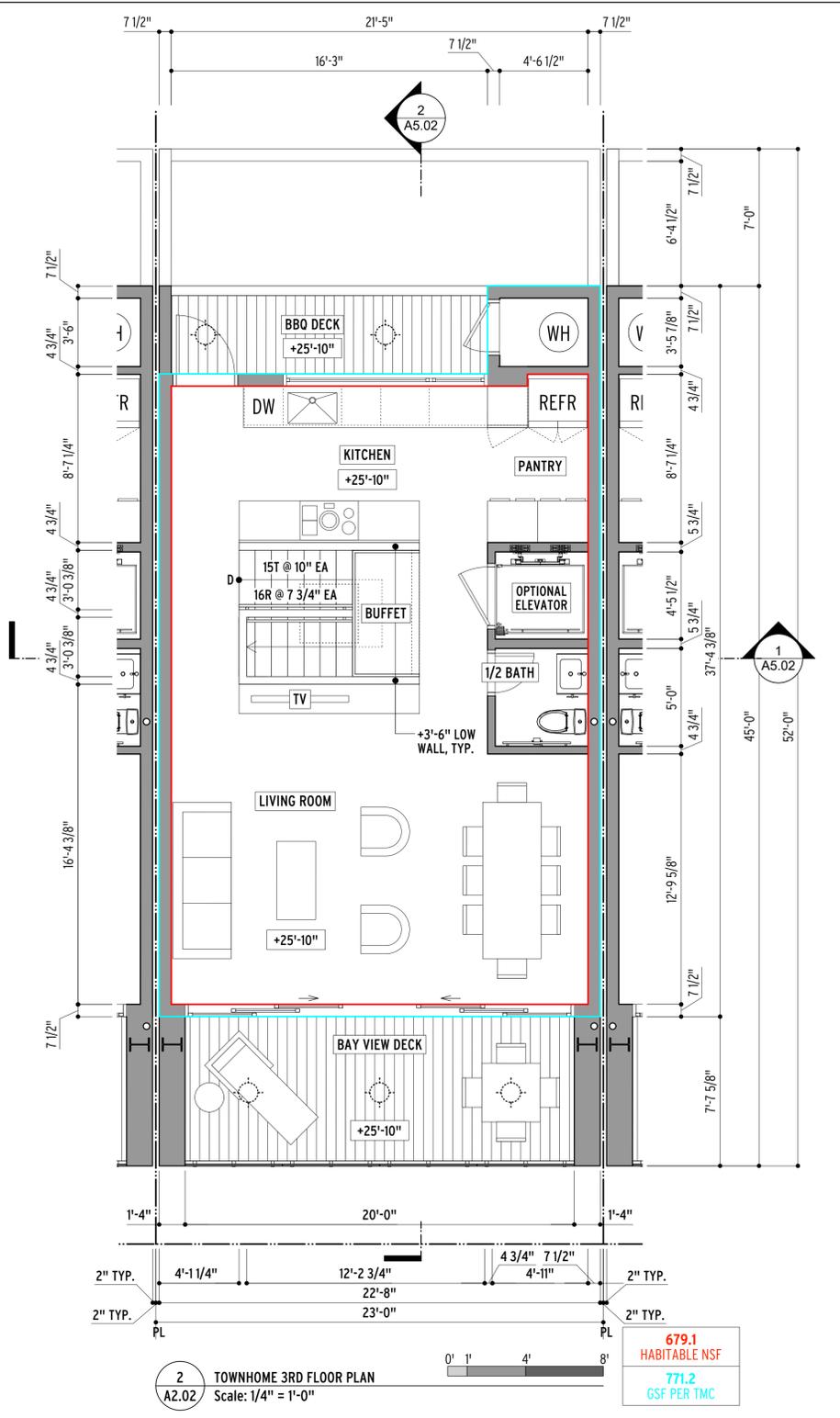
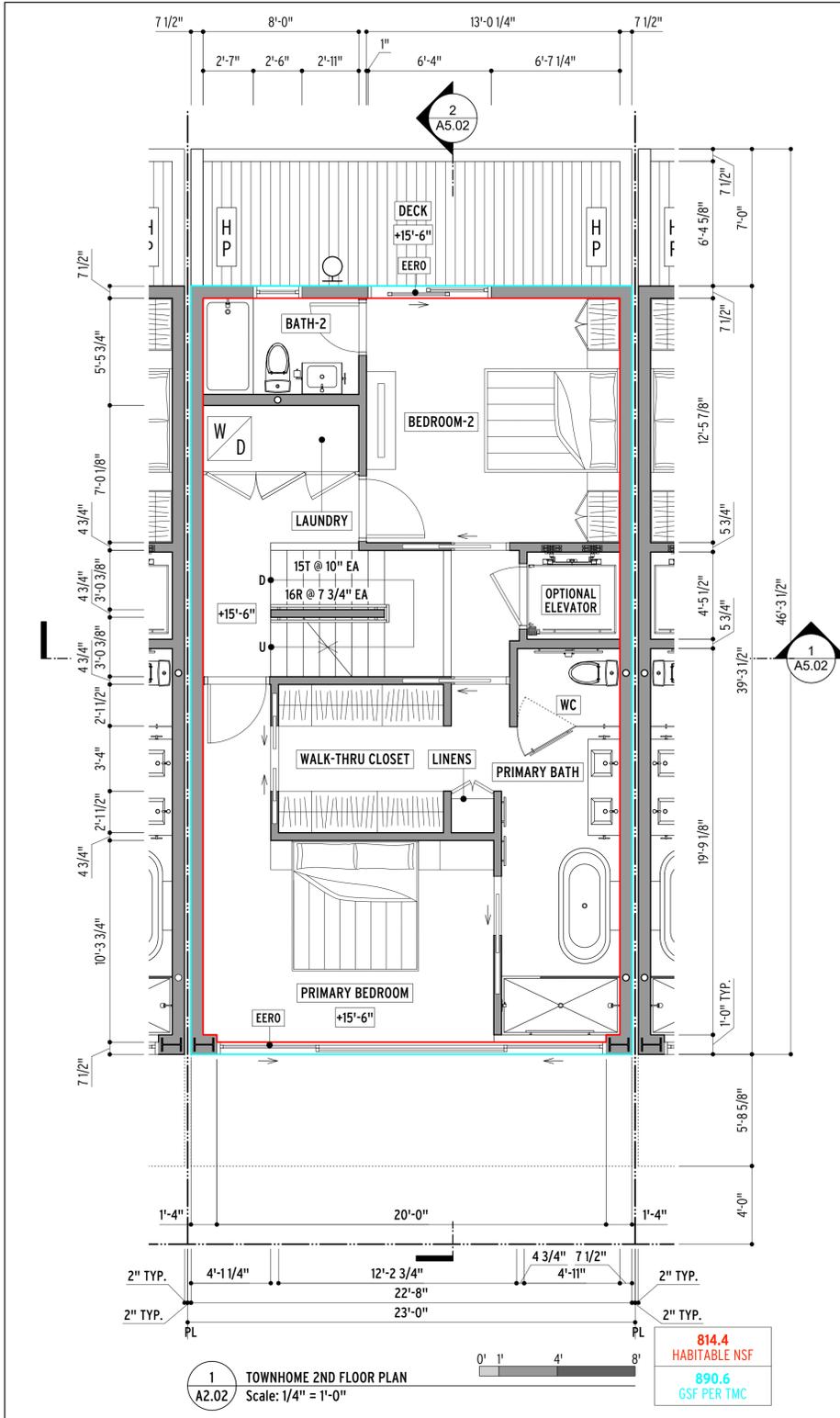
STAMP
 CONSULTANTS

PROJECT
TIBURON TOWNHOMES
 APN: 059-161-12
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ISSUES/REVISIONS

SHEET TITLE
ENLARGED TYPICAL TOWNHOME PLANS-2
 DATE: 11/22/2025
 PHASE: PLANNING PERMIT SUBMITTAL
 SCALE: AS NOTED

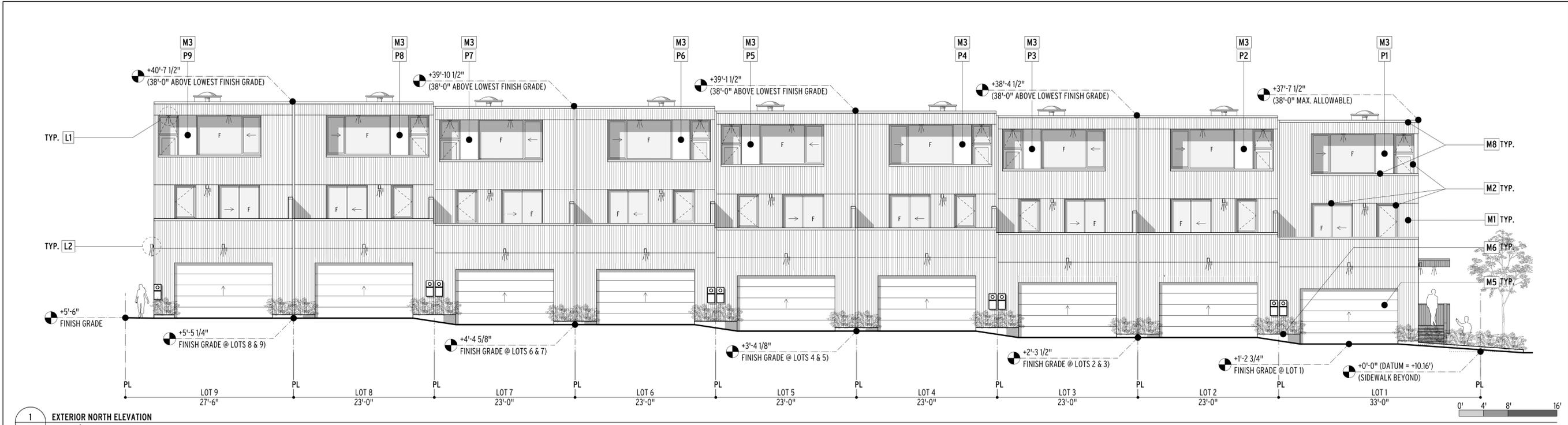
SHEET
A2.02



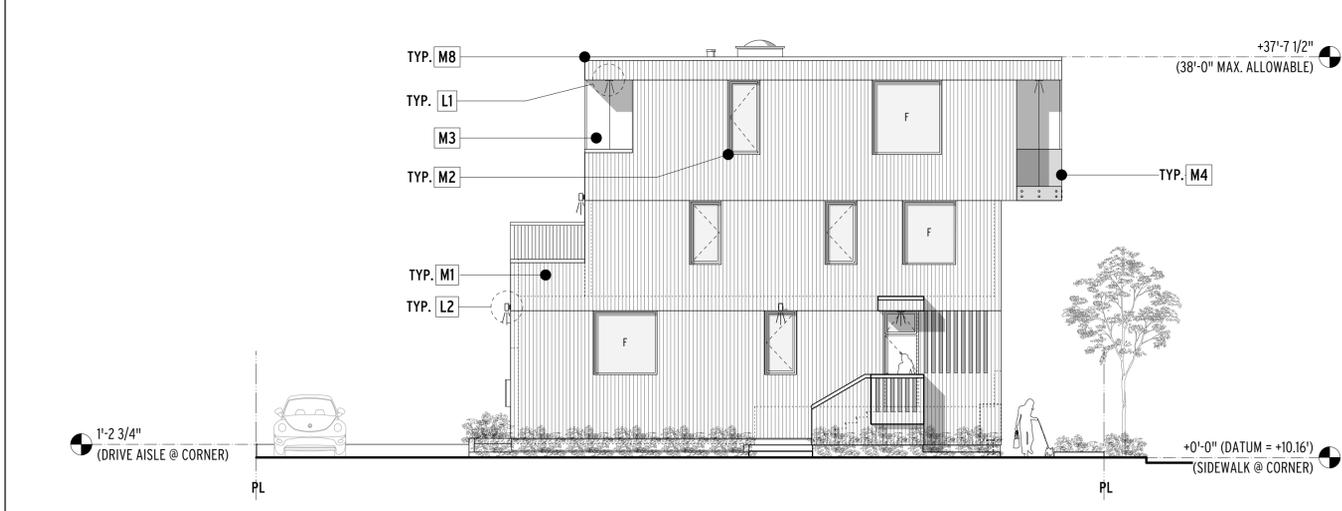
NOTES
 1. SEE SHEET A9.05-EXTERIOR MATERIALS & LIGHTING SCHEDULE FOR MORE LIGHTING INFORMATION.

EXTERIOR LIGHTING LEGEND

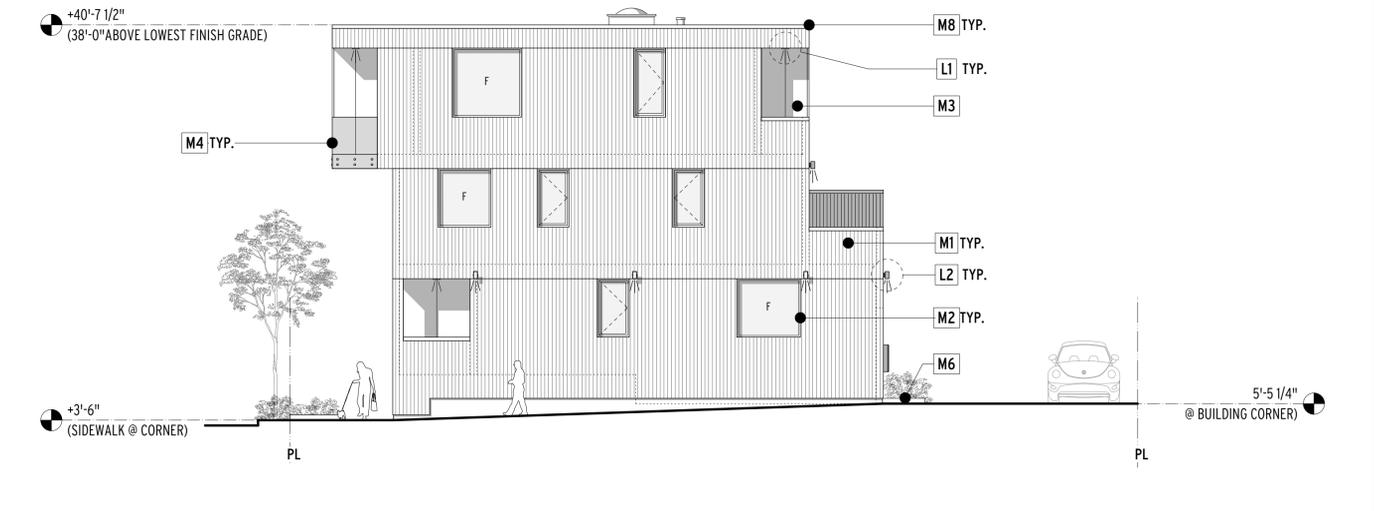
TYPE	SYMBOL	DESCRIPTION
L1		CEILING-MOUNTED DOWN LIGHT
L2		WALL-MOUNTED DOWN LIGHT



1
 A4.01 EXTERIOR NORTH ELEVATION
 Scale: 1/8" = 1'-0"



3
 A4.01 EXTERIOR WEST ELEVATION
 Scale: 1/8" = 1'-0"

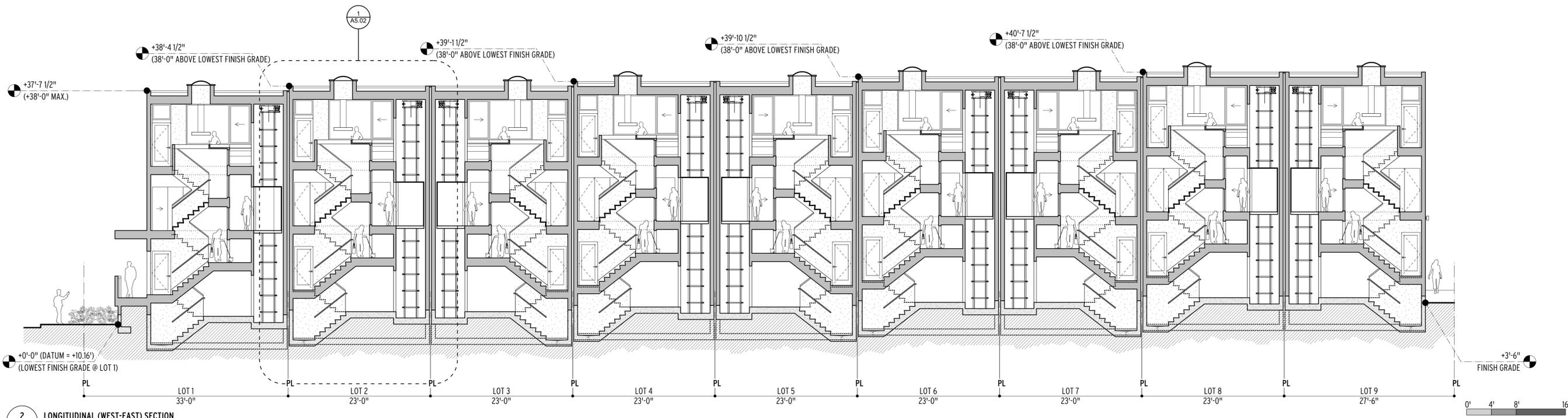


2
 A4.01 EXTERIOR EAST ELEVATION
 Scale: 1/8" = 1'-0"

NOTES

1. SEE SHEET A9.05-EXTERIOR MATERIALS & LIGHTING SCHEDULE FOR MORE LIGHTING AND EXTERIOR MATERIALS INFORMATION.

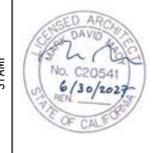
EXTERIOR MATERIALS LEGEND		EXTERIOR LIGHTING LEGEND	
TYPE	DESCRIPTION	TYPE	DESCRIPTION
M1	WEATHERED CEDAR RAINSCREEN	L1	CEILING-MOUNTED DOWN LIGHT
M2	WINDOWS, EXTERIOR DOORS & HANDRAILS	L2	WALL-MOUNTED DOWN LIGHT
M3	FIBER-CEMENT PANEL RAINSCREEN		
M4	CLEAR GLASS GUARDRAIL SYSTEM		
M5	STEEL GARAGE DOORS		
M6	WEATHERED STEEL PLANTER EDGING/CURBS		
M7	EXTERIOR ENTRY DOORS		
M8	MISCELLANEOUS SHEET METAL & FLASHING		



NOTES
1. SEE SHEET A9.05-EXTERIOR MATERIALS & LIGHTING SCHEDULE FOR MORE LIGHTING AND EXTERIOR MATERIALS INFORMATION.

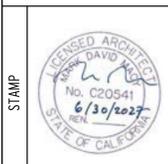
EXTERIOR MATERIALS LEGEND		EXTERIOR LIGHTING LEGEND	
TYPE	DESCRIPTION	TYPE	SYMBOL DESCRIPTION
M1	WEATHERED CEDAR RAINSCREEN	L1	CEILING-MOUNTED DOWN LIGHT
M2	WINDOWS, EXTERIOR DOORS & HANDRAILS	L2	WALL-MOUNTED DOWN LIGHT
M3	FIBER-CEMENT PANEL RAINSCREEN		
M4	CLEAR GLASS GUARDRAIL SYSTEM		
M5	STEEL GARAGE DOORS		
M6	WEATHERED STEEL PLANTER EDGING/CURBS		
M7	EXTERIOR ENTRY DOORS		
M8	MISCELLANEOUS SHEET METAL & FLASHING		

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ISSUES/REVISIONS
SHEET TITLE
LONGITUDINAL SECTION & SOUTH ELEVATION
SHEET
A5.01
DATE: 1/22/2025
PHASE: PLANNING PERMIT SUBMITTAL
SCALE: AS NOTED



STAMP

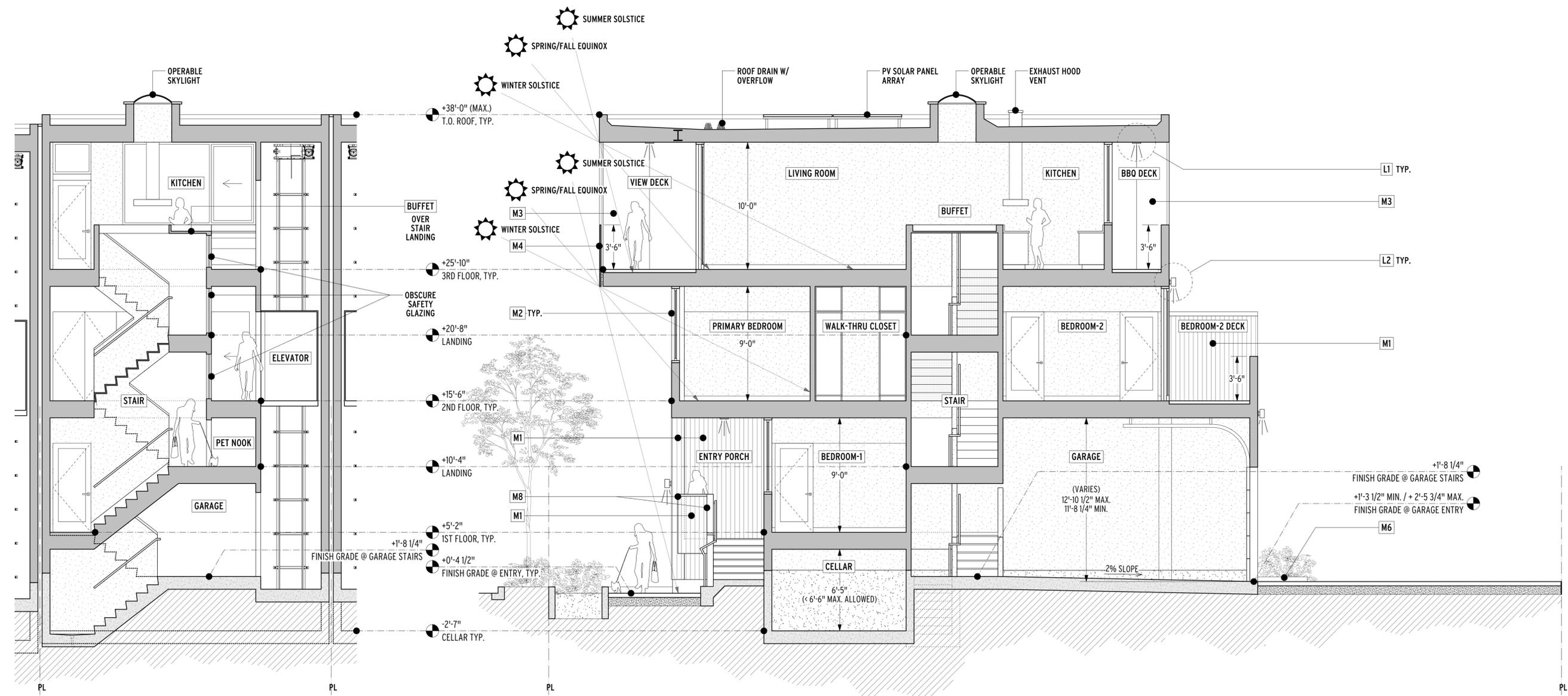
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TIBURON TOWNHOMES

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ISSUES/REVISIONS



1 ENLARGED SECTION A-A
 A5.02 Scale: 1/4" = 1'-0"



2 ENLARGED SECTION B-B
 A5.02 Scale: 1/4" = 1'-0"



NOTES

1. SEE SHEET A9.05-EXTERIOR MATERIALS & LIGHTING SCHEDULE FOR MORE LIGHTING AND EXTERIOR MATERIALS INFORMATION.

EXTERIOR MATERIALS LEGEND

TYPE	DESCRIPTION
M1	WEATHERED CEDAR RAINSCREEN
M2	WINDOWS, EXTERIOR DOORS & HANDRAILS
M3	FIBER-CEMENT PANEL RAINSCREEN
M4	CLEAR GLASS GUARDRAIL SYSTEM
M5	STEEL GARAGE DOORS
M6	WEATHERED STEEL PLANTER EDGING/CURBS
M7	EXTERIOR ENTRY DOORS
M8	MISCELLANEOUS SHEET METAL & FLASHING

EXTERIOR LIGHTING LEGEND

TYPE	SYMBOL	DESCRIPTION
L1		CEILING-MOUNTED DOWN LIGHT
L2		WALL-MOUNTED DOWN LIGHT

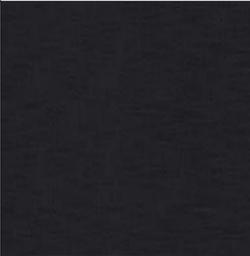
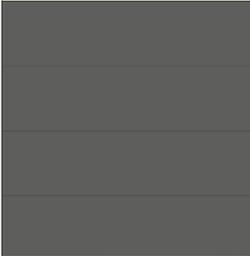
TYPICAL TOWNHOME SECTIONS

DATE	PHASE	SCALE
11/22/2025	PLANNING PERMIT SUBMITTAL	AS NOTED

SHEET TITLE

A5.02

EXTERIOR MATERIALS

MATERIAL	SYMBOL	DESCRIPTION / SPECIFICATION	MATERIAL	SYMBOL	DESCRIPTION / SPECIFICATION
	M1	<p align="center">WEATHERED CEDAR RAINSCREEN</p> <p>NATURAL OR COMPOSITE WOOD SIDING</p> <ul style="list-style-type: none"> • RAINSCREEN SYSTEM • NATURAL / WEATHERED SILVER-GRAY FINISH 		M2	<p align="center">WINDOWS, EXTERIOR DOORS, & METAL HANDRAILS</p> <ul style="list-style-type: none"> • BLACK FINISH
	M3	<p align="center">FIBER-CEMENT PANEL RAINSCREEN</p> <p>FIBER-CEMENT SIDING</p> <ul style="list-style-type: none"> • RAINSCREEN SYSTEM • COLOR(S) T.B.D. 		M4	<p align="center">CLEAR GLASS GUARDRAIL SYSTEM (3RD FLOOR VIEW DECK GUARDRAIL)</p> <p>GLASS GUARDRAIL</p> <ul style="list-style-type: none"> • CLEAR TEMPERED / LAMINATED
	M5	<p align="center">STEEL GARAGE DOORS</p> <p>CLOPAY MODEERN STEEL</p> <ul style="list-style-type: none"> • PAINTED "CHARCOAL" 		M6	<p align="center">WEATHERING STEEL PLANTER EDGING / CURBS</p> <ul style="list-style-type: none"> • DRIVE AISLE
	M7	<p align="center">EXTERIOR ENTRY DOORS</p> <ul style="list-style-type: none"> • COMPOSITE / FIBERGLASS CLAD • COLOR(S) T.B.D. 		M8	<p align="center">MISCELLANEOUS SHEET METAL & FLASHING</p> <ul style="list-style-type: none"> • ALUMINUM SHEET, U.O.N. • BLACK ANODIZED (EXTERIOR GRADE)
	L1	<p align="center">SOFFIT-MOUNTED DOWN-LIGHT</p> <ul style="list-style-type: none"> • DARK SKY FRIENDLY 		L2	<p align="center">WALL-MOUNTED DOWN-LIGHT</p> <ul style="list-style-type: none"> • DARK SKY FRIENDLY

M A C Y
A R C H
A R T E C
I T U R E



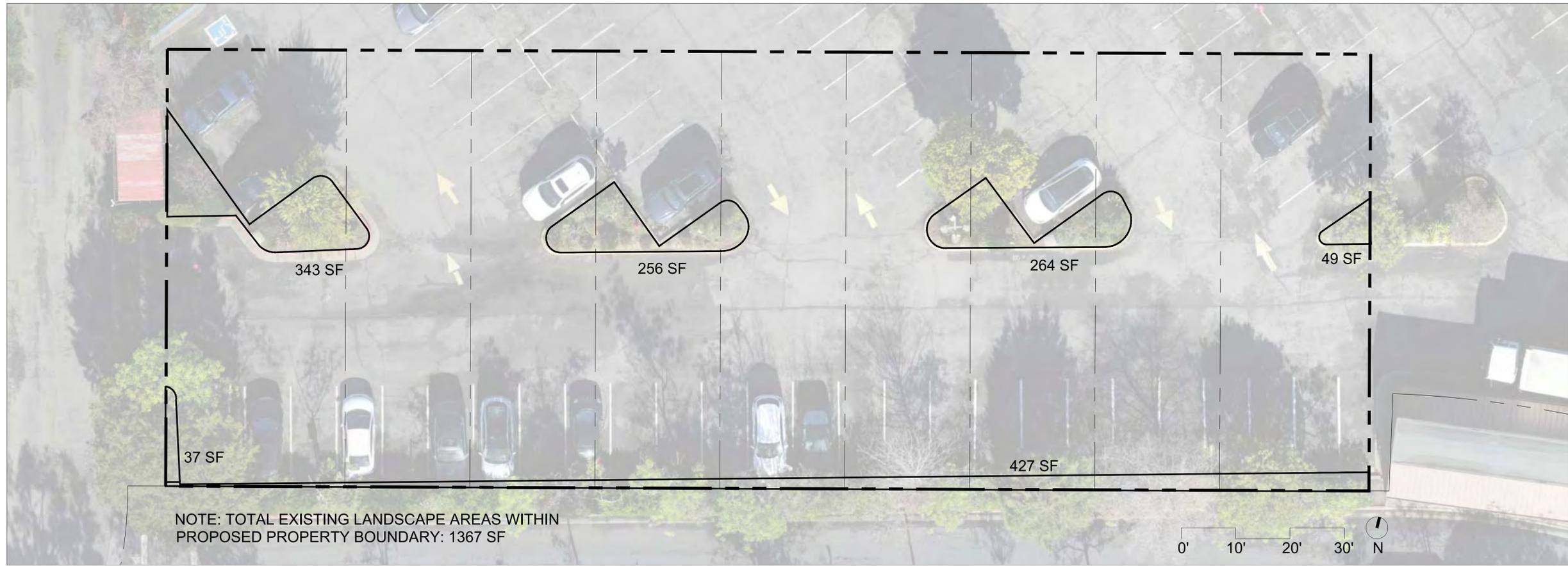
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PROJECT
TIBURON TOWNHOMES
 APN: 059-161-12
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ISSUES/REVISIONS

EXTERIOR MATERIALS & LIGHTING SCHEDULE	
DATE	11/27/2025
PHASE	PLANNING PERMIT SUBMITTAL
SCALE	AS NOTED

SHEET **A9.05**



1
L 0.00

EXISTING PLANTING AREAS

SCALE 1" = 10'



SHEET
L 0.00

SHEET TITLE
EXISTING LANDSCAPE AREAS

DATE	11.12.25
PHASE	
SCALE	

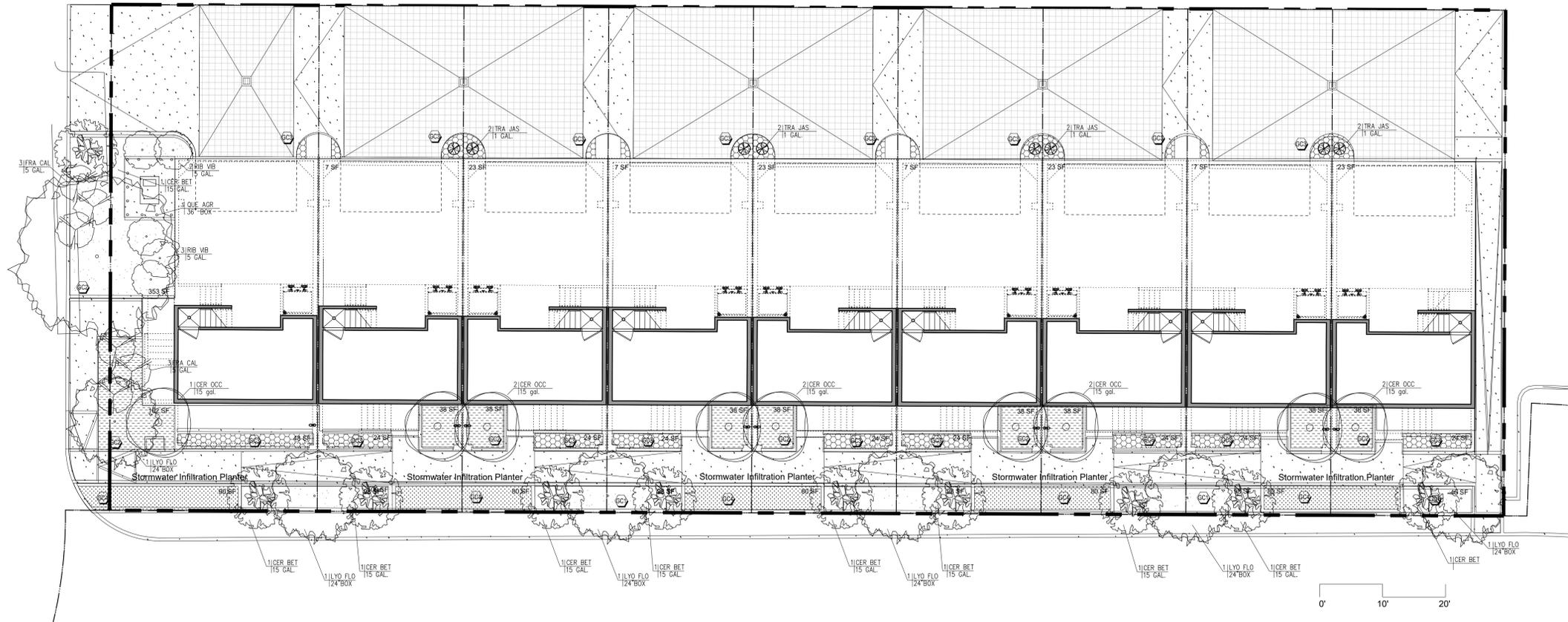
ISSUES/REVISIONS

PROJECT
TIBURON TOWNHOMES
APN: 059-161-12
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URBAN FIELD
24 Woodland Road, Fairfax, CA 94930
415.350.8257 || urbanfieldstudio.com



1 LANDSCAPE PLAN
L 1.00 SCALE 1' = 10'

PLANTING SCHEDULE

NOTES:

Planting palette is California native and regionally adapted, with a focus on low water use species.

Total Proposed Landscape area: 2031 SF

Irrigated Landscape Area: 2031 SF

Trees and Shrubs

Symbol	Abbreviation	Botanical Name	Common Name	Category	Height	Spread	Quantity	Size	Spacing	Water Usage
	QUE AGR	Quercus agrifolia	Coast Live Oak	Tree	30-80 ft	30-80 ft	1	24" BOX	As Shown	Low
	LYO FLO	Lyonothamnus floribundus ssp. asplenifolii	Catalina Ironwood	Tree	20-40 ft	15-20 ft	6	24" BOX	As Shown	Low
	CER BET	Cercocarpus betuloides	Mountain Mahogany	Tree	8-20 ft	10-12 ft	10	15 GAL	As Shown	Low
	CER OCC	Cercis occidentalis	Western Redbud	Tree	10-18 ft	10-18 ft	9	15 GAL	As Shown	Low
	RIB VIB	Ribes viburnifolium	Catalina Perfume	Shrub	2-4 ft	5-8 ft	5	5 GAL	As Shown	Low
	FRA CAL	Frangula californica	Coffeeberry	Shrub	6-10 ft	6-8 ft	6	5 GAL	As Shown	Low
	TRA JAS	Trachelospermum jasminoides	Star Jasmine	Climbing Vine	10-20 ft	NA	8	5 GAL	As Shown	Moderate

Stormwater Infiltration Planters (Total planter area: 410 SF)

GC 4	Abbreviation	Botanical Name	Common Name	Category	Height	Spread	Quantity	Size	Spacing	Water Usage
	CAR PRA	Carex praegracilis	Clustered Field Sedge	Matrix (drier zones)	12-18 in	18-30 in	48	1 gal	18" o.c.	Low
	JUN PAT	Juncus patens 'Elk Blue'	California Gray Rush	Matrix (wetter zones)	18-30 in	18-24 in	48	1 gal	18" o.c.	Medium
	DES CES	Deschampsia cespitosa	Tufted Hairgrass	Transition zones	18-36 in	18-24 in	36	1 gal	18" o.c.	Medium
	ERI GLA	Eriophyllum confertiflorum	Golden Yarrow	Accent perennial	12-24 in	18-24 in	24	1 gal	24" o.c.	Low
	SIS SPI	Sisyrinchium bellum	Blue-eyed Grass	bulb	6-12 in	6-12 in	60	1 gal	12" o.c.	Low
	MIM AUR	Diplacus aurantiacus	Sticky Monkeyflower	shrub	24-36 in	24-36 in	8	1 gal	30" o.c.	Low
	SAL CLE	Salvia clevelandii 'Winifred Gilman'	Cleveland Sage	shrub	36-48 in	48-60 in	8	1 gal	36" o.c.	Low

Groundcovers

GC 1: Perennial Groundcover (Total area: 792 SF)

GC1	Abbreviation	Botanical Name	Common Name	Category	Height	Spread	Quantity	Size	Spacing	Water Usage
	CAR PRA	Carex praegracilis	Field Sedge	Groundcover	12-18 in	24-30 in	382	1 gal	18" o.c.	Low
	DIC CAP	Dichelostemma capitatum	Blue Dicks	Perennial Bulb	12-18 in	4-6 in	48	1 gal	18" o.c.	Low
	ALL UNI	Allium unifolium	Oneleaf Onion	Perennial Bulb	12-24 in	6-8 in	48	1 gal	18" o.c.	Low
	HEU SPP	Heuchera spp.	Coral Bells	Groundcover	6-12 in	12-18 in	48	1 gal	18" o.c.	Low
	ERI KAR	Erigeron karvinskianus	Santa Barbara Daisy	Accent Groundcover	6-12 in	12-24 in	25	1 gal	24" o.c.	Low
	SAL SPA	Salvia spathacea	Hummingbird Sage	Accent Groundcover	12-24 in	24-36 in	12	1 gal	36" o.c.	Low

GC 2: Redbud Groundcover (Total Area: 466 SF)

GC2	Abbreviation	Botanical Name	Common Name	Category	Height	Spread	Quantity	Size	Spacing	Water Usage
	CAR TUM	Carex tumulicola	Berkeley Sedge (under redbud Meadow Matrix		12-18 in	18-24 in	280	1 gal	12" o.c.	Low
	SIS BEL	Sisyrinchium bellum	Blue-Eyed Grass	Accent Perennial	6-12 in	6-12 in	47	1 gal	12" o.c.	Low
	ESC CAL	Eschscholzia californica 'Maritima'	Dwarf California Poppy	Accent Perennial	6-10 in	8-12 in	47	1 gal	12" o.c.	Low
	CLA AMO	Clarkia amoena	Farewell-to-Spring	Accent Perennial	12-30 in	12-18 in	46	1 gal	12" o.c.	Low
	BRO ELE	Brodiaea elegans	Elegant Brodiaea	Accent Bulb	12-18 in	4-6 in	46	1 gal	12" o.c.	Low

GC 3: Accent planters (Total area: 363 SF)

GC3	Abbreviation	Botanical Name	Common Name	Category	Height	Spread	Quantity	Size	Spacing	Water Usage
	JUN PAT	Juncus patens 'Elk Blue'	California Gray Rush 'Elk Blue'	Groundcover / Narrow Strip Accent	12-18 in	12-16 in	120	1 gal	12" o.c.	Low

STAMP

CONSULTANTS

PROJECT
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ISSUES/REVISIONS

SHEET TITLE
LANDSCAPE PLAN

DATE 11.12.25
PHASE
SCALE

SHEET
L 1.00