



EWALD RESIDENCE TIBURON, CA

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project name
EWALD RESIDENCE

project address
**77 MNT. TIBURON RD
TIBURON CA, 94920**

apn #
058-261-06

client
CHASE AND CHARLES EWALD

job #
18-026

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issue
**PERMIT SET - DESIGN
REVIEW**

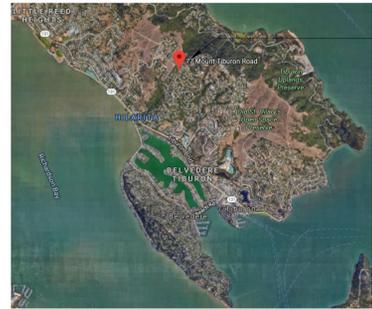
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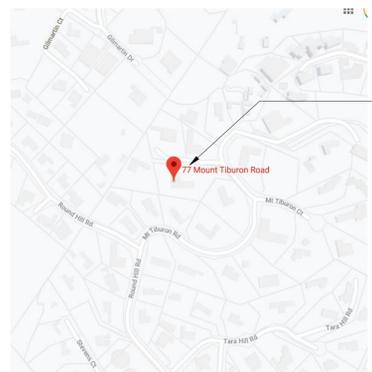
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VICINITY MAPS



SUBJECT PROPERTY

AERIAL PHOTO



SUBJECT PROPERTY

NEIGHBORHOOD PLAN

ARCHITECTURAL SYMBOLS

DRAWING SYMBOLS

	NORTH ARROW
	KEYNOTE
	SPOT ELEVATION
	SLOPE (DOWN, UON)
	SLOPE DESIGNATION
	DIMENSION
	ALIGN FINISH SURFACES
	CENTERLINE
	PROPERTY LINE
	GRADE CHANGE
	MECHANICAL ARROW
	ARCHITECTURAL ARROWS
	LAMINATED GLAZING
	TEMPERED GLAZING

REFERENCE SYMBOLS

	BUILDING SECTION
	BUILDING ELEVATION
	INTERIOR ELEVATION
	DETAIL CALLOUT
	DETAIL REFERENCE
	SPOT ELEVATION
	REVISION MARK
	LEVEL
	GRID LINE
	PARTITION TAG
	MATERIAL TAG
	WINDOW TAG
	DOOR TAG
	CEILING TAG

ABBREVIATIONS

A	AB ANCHOR BOLT ABV ABOVE ADDL ADDITIONAL AESS ARCH EXPOSED STRUCTURAL STEEL AC LAWNING ACOUST ACOUSTICAL AD AREA DRAIN ADJ ADJUSTABLE AFF ABOVE FINISHED FLOOR AGGR AGGREGATE ALT ALTERNATE ALUM ALUMINUM ANOD ANODIZED APPROX APPROXIMATE ARCH ARCHITECTURAL ASPH ASPHALT AWRB AIR & WATER RESISTIVE BARRIER	B	BD BOARD BLDG BITUMINOUS BLK BLOCK BLKG BLOCKING BLW BELOW BM BEAM BOT BOTTOM BRKT BRACKET BTWN BETWEEN BUR BUILT UP ROOFING	C	CB CATCH BASIN CEM CEMENT CI CAST IRON CIP CAST IN PLACE CFWP COLD FLUID APPLIED WATERPROOFING CJ CONTROL JOINT / CEILING JOIST CL CENTERLINE CLG CEILING CLKG CAULKING CLR CLEAR CMU CONCRETE MASONRY UNIT COL COLUMN COMP COMPOSITION CONC CONCRETE CONN CONNECTION CONSTR CONSTRUCTION CONT CONTINUOUS CPT CARPET CT CERAMIC TILE CTR CENTER CTSK COUNTERSUNK / COUNTERSINK CW COLD WATER	D	DBL DOUBLE DEG DEGREE DEMO DEMOLITION DEPT DEPARTMENT DET / DTL DETAIL DF DOUGLAS FIR DIAG DIAGONAL DIA DIAMETER DIM DIMENSION DN DOWN DR DOOR DS DOWNSPOUT DW DISHWASHER DWG DRAWING DWR DRAWER	E	EX EXISTING E EAST EA EACH EB EXPANSION BOLT EF EXHAUST FAN EJ EXPANSION JOINT ELEV ELEVATION ELEC ELECTRIC / ELECTRICAL ELAST ELASTOMERIC / ELASTIC EMER EMERGENCY ENCL ENCLASURE ENGR ENGINEER EQ EQUAL EQUI EQUIPMENT EXH EXHAUST EXP EXPANSION / EXPANDED / EXPOSED EXT EXTERIOR	F	(F) FUTURE FA FIRE ALARM FABR FABRICATE F.A.R. FLOOR AREA RATIO FCP FIBER CEMENT PANELS FD FLOOR DRAIN FDC FIRE DEPARTMENT CONNECTION FDN / FND FOUNDATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FF FINISH FLOOR FFE FINISH FLOOR ELEVATION FG FINISH GRADE FH FULL HEIGHT FIN FINISH FIT FUTURE FLASH FLASHING FLR FLOOR FLUOR FLUORESCENT FLOP FINISHED OPENING FOC FACE OF CONCRETE FOF FACE OF FINISH FOS FACE OF STUD FR FIRE RATED / RATING FRP FIBER REINFORCED PLASTIC FRFP FIREPROOFING FT FOOT OR FEET FTG FOOTING FURR FURRING	G	GA GAUGE GALV GALVANIZED GC GENERAL CONTRACTOR GEN GENERAL GFPI GROUND FAULT CIRCUIT INTERRUPTED GFRCC GLASS FIBER REINFORCED CONCRETE GL GLASS GLAZ GLAZED / GLAZING GLB GLUE LAM BEAM GND GROUND GSM GALVANIZED SHEET METAL GYSB GYPSUM WALL BOARD GYP GYPSUM BOARD GYP BD GYPSUM BOARD	H	HB HOSE BIB HC HANDICAPPED HC HOLLOW CORE HCWD HOLLOW CORE WOOD DOOR HDPE HIGH DENSITY POLYETHYLENE HDWD HARDWOOD HDWR HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HSS HOLLOW STRUCTURAL SECTIONS HT HEIGHT HVAC HEATING VENTILATION & AIR CONDITIONING HW HOT WATER	I	ID INSIDE DIAMETER IN INCH INSUL INSULATION INT INTERIOR INTM INTUMESCENT	J	J-BOX JUNCTION BOX JH JOIST HANGER JT JOIST JST JOIST	K	KD KILN DRIED KIT KITCHEN	L	L LONG / LENGTH LAF LIQUID APPLIED FLASHING LAM LAMINATE / LAMINATED LAV LAVATORY LAWRB LIQUID APPLIED WATER RESISTIVE BARRIER LB POUND LT LIGHT LTG LIGHTING LVR LOUVER	M	MACH MACHINE MAT MATERIAL MAX MAXIMUM MECH MECHANICAL MEMB MEMBRANE MEZZ MEZZANINE MFR MANUFACTURER MID MIDDLE MIN MINIMUM / MINUTE MIRR MIRROR MISC MISCELLANEOUS MOD BIT MODIFIED BITUMEN MTD MOUNTED MTG MOUNTING MTL METAL MUL MULLION MW MICROWAVE	N	(N) NEW N NORTH NIC NOT IN CONTRACT NUM NUMBER NOM NOMINAL NTS NOT TO SCALE	O	o OVER OA OVERALL OC ON CENTER OD OUTSIDE DIMENSION OFD OVERFLOW DRAIN OH OVERHEAD OPG OPENING OPP OPPOSITE	P	PE POLYETHYLENE PERF PERFORATED PERP PERPENDICULAR PL PROPERTY LINE / PLATE PLAM PLASTIC LAMINATE PLAS PLASTER PLYWD PLYWOOD PNT PAINT PTD PAINTED PR PAIR PT POINT / PRESSURE TREATED PV PHOTOVOLTAIC PVC POLYVINYL CHLORIDE PWR POWER	Q	QTY QUANTITY	R	(R) REMODELED R RISER RAD RADIUS RCP REFLECTED CEILING PLAN RD ROOF DRAIN RECEP RECEPTACLE RECT RECTANGULAR REF REFRIGERATOR REFR REFERENCE REINF REINFORCED RGTR REGISTER REQ'D REQUIRED RESIL RESILIENT RET RETAINING REV REVISION RM ROOM RND ROUND RO ROUGH OPENING RR ROOF RAFTER RWL RAINWATER LEADER	S	S SOUTH SAF SELF-ADHERED FLASHING SAWRB SELF-ADHERED WATER RESISTIVE BARRIER SC SOLID CORE SCD SEE CIVIL DRAWINGS SCHD SCHEDULE SCR SCREEN SCWD SOLID CORE WOOD DOOR SECT SECTION SED SEE ELECTRICAL DRAWINGS SF SQUARE FOOT / FEET SHGC SOLAR HEAT GAIN COEFFICIENT SHT SHEET SHTG SHEATHING SHWR SHOWER SIM SIMILAR SKYLT SKYLIGHT SLD SEE LANDSCAPE DRAWINGS SMD SEE MECHANICAL DRAWINGS SMWP SHEET MEMBRANE WATERPROOFING SOG SLAB ON GRADE SPD SEE PLUMBING DRAWINGS SPEC SPECIFICATION SQ SQUARE SS STAINLESS STEEL SSD SEE STRUCTURAL DRAWINGS STA STATION STD STANDARD STL STEEL STOR STORAGE STRUC STRUCTURAL SUSP SUSPENDED SYM SYMMETRICAL	T	TR TREAD T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TBD TO BE DETERMINED TEL TELEPHONE TEMP TEMPERED / TEMPERATURE THERM THERMAL THK THICK THRESH THRESHOLD T.O. TOP OF TOC TOP OF CONCRETE T.O.P. TOP OF PLATE TOPO TOPOGRAPHY TOS TOP OF STEEL T.O.W. TOP OF WALL TPO THERMOPLASTIC POLYOLEFIN TS TUBE STEEL TYP TYPICAL	U	UON UNLESS OTHERWISE NOTED UV ULTRAVIOLET	V	VCT VINYL COMPOSITION TILE VER VERIFY VERT VERTICAL VEST VESTIBULE VGR VERTICAL GRAIN VIF VERIFY IN FIELD	W	W WEST / WIDE / WIDTH W WITH WC WATER CLOSET WD WOOD WF WIDE FLANGE WH WATER HEATER WN WINDOW WITHOUT WITHOUT W/O WHERE OCCURS WP WATERPROOF / WATERPROOFING WR WATER RESISTANT WRB WATER RESISTIVE BARRIER WT WEIGHT WWF WELDED WIRE FABRIC	Y	YD YARD
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GENERAL NOTES

- ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE FOLLOWING CODES: CURRENT VERSION OF THE CALIFORNIA BUILDING, RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL CODE, STATE ENERGY STANDARDS, AND ANY OTHER GOVERNING CODES AND ORDINANCES.
- IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
- WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.
- WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
- PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER CBC 718.2 & CRC R302.11, FIRE-BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT MAX. 10 FOOT INTERVALS.
 - IN CONCEALED INTERCONNECTIONS SUCH AS SOFFITS, DROP CEILING, COVE CEILING.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING & FLR. LEVEL W/ AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
- PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER CBC 718.3.4 & CRC R302.12 DRAFT-STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS BELOW, DRAFT-STOPPING SHOULD BE PROVIDED IN THE FOLLOWING CIRCUMSTANCES:
 - SUSPENDED CEILING UNDER FLOOR FRAMING
 - OPEN WEB TRUSS OR PERFORATED FLOOR FRAMING MEMBERS.
- PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE WALLS IF THERE IS NO PROVIDED AIR GAP.
- ALL EARTHWORK AND SITE DRAINAGE INCLUDING BASEMENT AND PIER EXCAVATION, PREPARATION OF THE SUBGRADE BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, BASEMENT RETAINING WALL BACKFILL, AND FINAL SURFACE DRAINAGE INSTALLATION SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
- ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN 2019 CALGREEN TABLES 4.504.1-4.504.3.
- STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE (TITLE-24)
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING CODE
- ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE ABOVE LISTED CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR RESOLUTION BEFORE COMMENCING WITH THE WORK.

PROJECT DATA

WORK DESCRIPTION: REMODEL TO THE KITCHEN, LAUNDRY, FAMILY ROOM, AND GARAGE WITH NEW ENTRY VESTIBULE. THIS INCLUDES A NEW ENTRY DOOR AND SIDELITE, NEW KITCHEN WINDOW, AND NEW FAMILY ROOM DOOR TO EXISTING DECK. RECONSTRUCTION OF EXISTING DECK.

APN: 058-261-06

OCCUPANCY GROUP: SINGLE-FAMILY RESIDENTIAL
CONSTRUCTION TYPE: V-B
ZONING DISTRICT: RO-1

FLOOR ZONE: X

SQUARE FOOTAGE:	EXISTING	PROPOSED
LOWER LEVEL:	2,090 SF	2,090 SF (UNCHANGED)
MAIN LEVEL GARAGE:	3,810 SF	4,058 SF
UPPER LEVEL:	752 SF	504 SF
TOTAL:	8,669 SF	8,669 SF (UNCHANGED)

GROSS TOTAL: 8,268 SF (DEDUCT 600 SF OF GARAGE) 8,365 SF

SETBACKS: (UNCHANGED)
REAR: 25' (OR 20% LOT DEPTH, WHICHEVER IS LESS)
FRONT: 30'
SIDE: 20'

BUILDING HEIGHT: (UNCHANGED)
PERMITTED: 30'

LOT SIZE:
MIN LOT AREA: 40,000SF
LOT AREA: 1.09 ACRES
MAX LOT COVERAGE: 15% (UNCHANGED)



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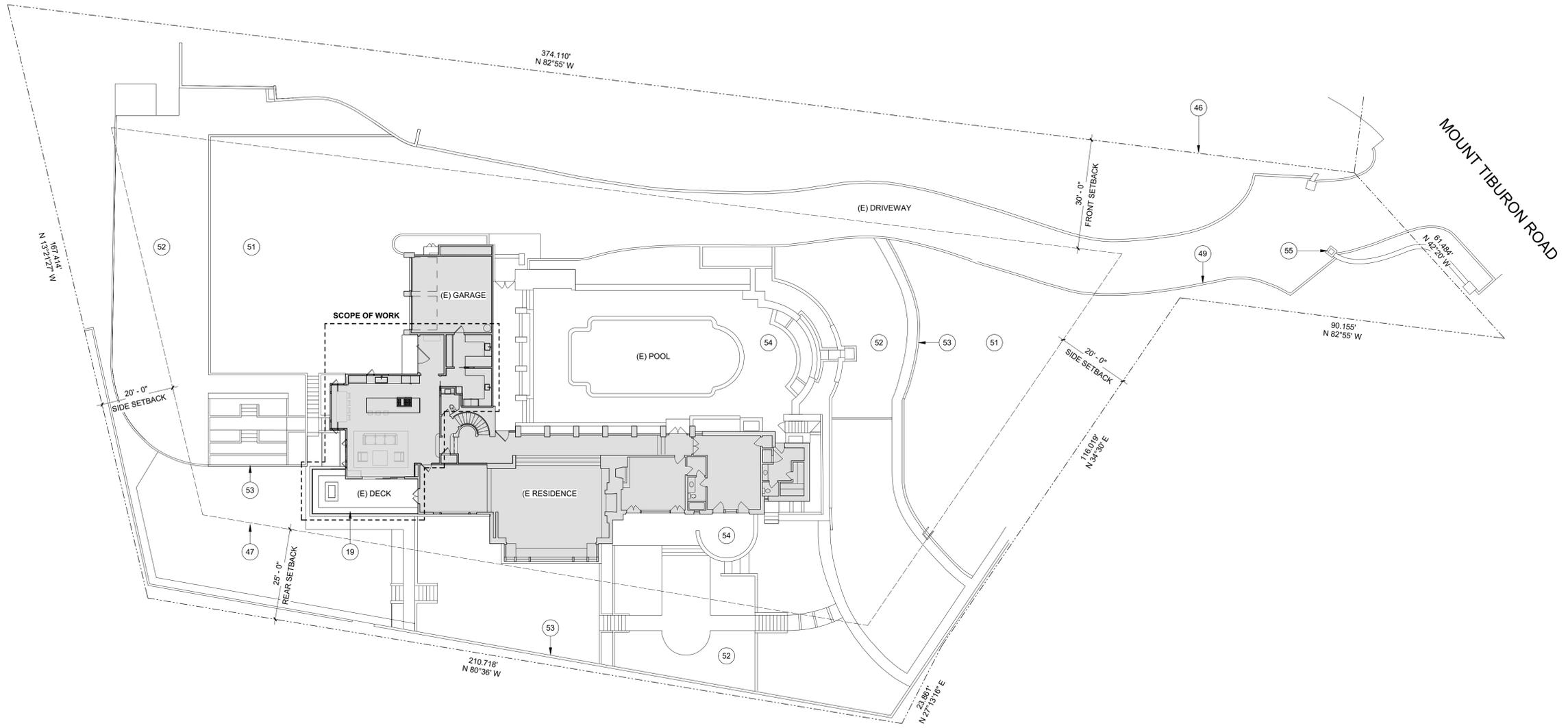


LEGEND

- PROPERTY LINE
- SETBACK LINE

KEYNOTE LEGEND

- 19 (E) WOOD DECK TO BE REPLACED
- 46 PROPERTY LINE
- 47 SETBACK
- 49 (E) DRIVEWAY TO REMAIN, NOT IN SCOPE OF WORK
- 51 (E) DRIVEWAY TURNAROUND AND GUEST PARKING
- 52 (E) SOFTSCAPE TO REMAIN, NOT IN SCOPE OF WORK
- 53 (E) SITE WALLS TO REMAIN, NOT IN SCOPE OF WORK
- 54 (E) PATIO TO REMAIN, NOT IN SCOPE OF WORK
- 55 (E) AUTOGATE TO REMAIN, NOT IN SCOPE OF WORK



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**PROPOSED SITE
PLAN**



LEGEND

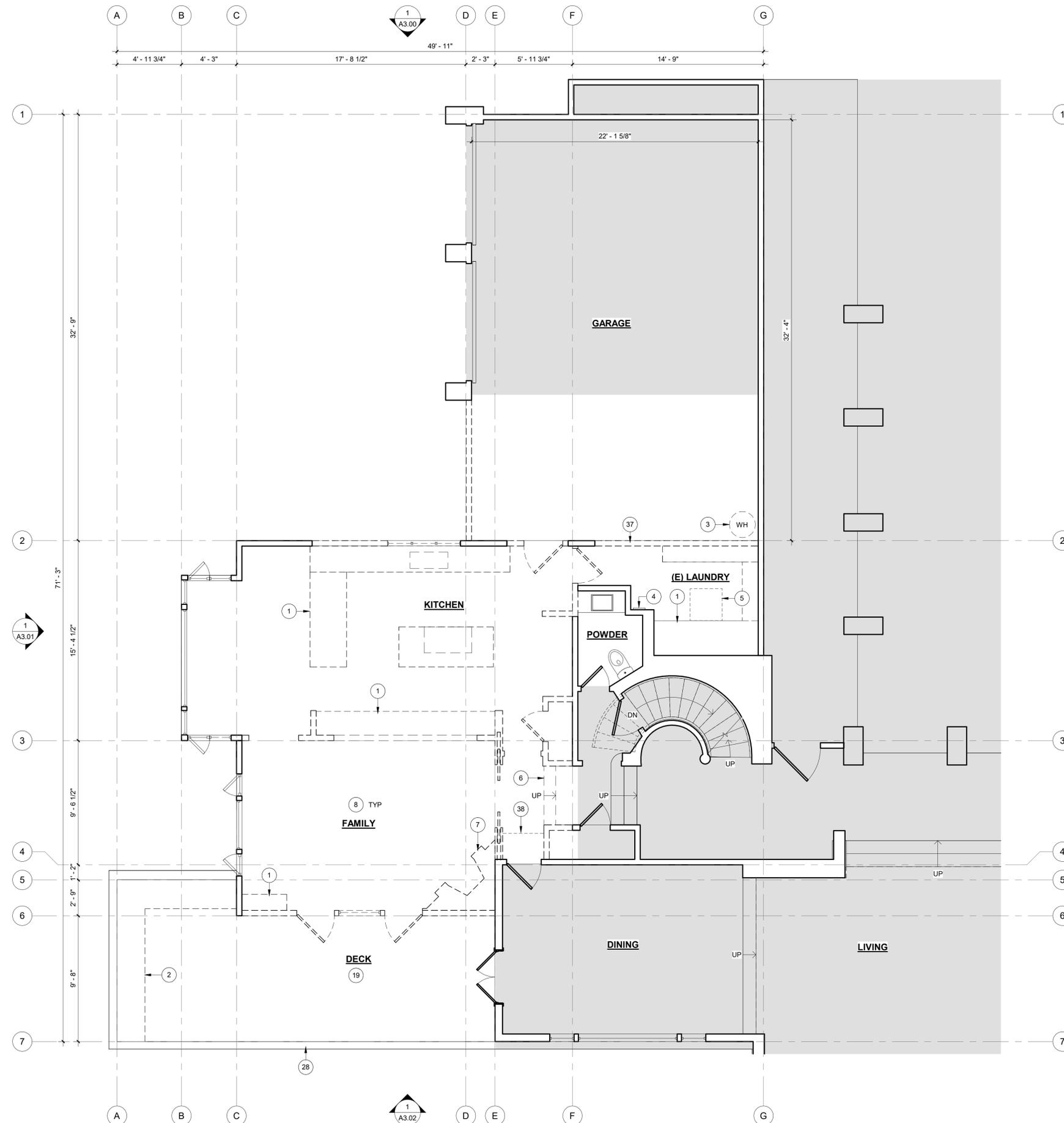
- (E) WALL TO REMAIN
- (E) CONCRETE WALL TO REMAIN
- (E) WALL TO BE REMOVED
- REMOVE (E) DOOR AND FRAME, TYP
- NOT IN SCOPE OF WORK

KEYNOTE LEGEND

- 1 (E) CASEWORK IN SCOPE OF WORK TO BE DEMOLISHED, TYP
- 2 (E) DECK SEATING TO BE DEMOLISHED
- 3 RELOCATE (E) WATER HEATER, CONTRACTOR TO PRICE (N) ON-DEMAND WATER HEATER REPLACEMENT AS ALTERNATE
- 4 (E) ELECTRICAL PANEL TO REMAIN, PAINT TO MATCH CABINETRY
- 5 (E) SKYLIGHT ABOVE TO REMAIN, REMOVE (E) TRIM
- 6 (E) STEP TO BE DEMOLISHED
- 7 (E) FIREPLACE TO BE DEMOLISHED
- 8 (E) WOOD FLOORING TO BE DEMOLISHED, (E) SUBFLOOR & (E) JOISTS TO REMAIN
- 19 (E) WOOD DECK TO BE REPLACED
- 28 (E) DECK WALL TO BE REPLACED
- 37 DEMOLISH (E) CONC STEM WALL
- 38 DEMOLISH (E) DROPPED SOFFIT

DEMO PLAN GENERAL NOTES

1. DEMOLITION:
 - A. FOUNDATION: REFER TO STRUCTURAL DRAWINGS FOR DEMOLITION SCOPE AS REQUIRED FOR (N) WORK.
 - B. FRAMING: REFER TO STRUCTURAL DRAWINGS FOR ADD'L DEMOLITION SCOPE AS REQ'D FOR INSERTION OF (N) WORK.
 - C. FLOORING: REMOVE (E) WOOD FLOORING WITHIN SCOPE OF WORK.
 - D. CABINETS: REMOVE ALL CABINETS, COUNTERTOPS, BATH ACCESSORIES, BACKSPLASHES, AND MIRRORS WITHIN SCOPE OF WORK.
 - E. PLUMBING: REMOVE FIXTURES AND EQUIPMENT AS REQUIRED FOR (N) WORK.
 - F. ELECTRICAL / MECHANICAL: RE-ROUT OR RESIZE DUCTS & WIRING AS REQ'D FOR (N) WORK.
 - G. EXTERIOR: REMOVE AND REPAIR FINISHES AS REQ'D FOR (N) WORK
 - H. APPLIANCES: REMOVE ALL (E) APPLIANCES WITHIN SCOPE OF WORK.
2. PROTECT (E) TO REMAIN CONSTRUCTION THROUGHOUT DEMOLITION AND CONSTRUCTION. RESTORE SURFACES TO ORIGINAL CONDITION WHICH HAVE BEEN DISTURBED BY DEMOLITION AND ARE INDICATED TO REMAIN. PATCH DAMAGED SURFACES TO MATCH SIMILAR ADJACENT FINISHES. DOORS INDICATED FOR REMOVAL SHALL HAVE FRAMES, JAMBS, HARDWARE, AND OTHER RELATED ACCESSORIES REMOVED, FINISHES PATCHED AND REPAIRED.



1 DEMO FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

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DEMOLITION PLAN -
LEVEL 1

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LEGEND

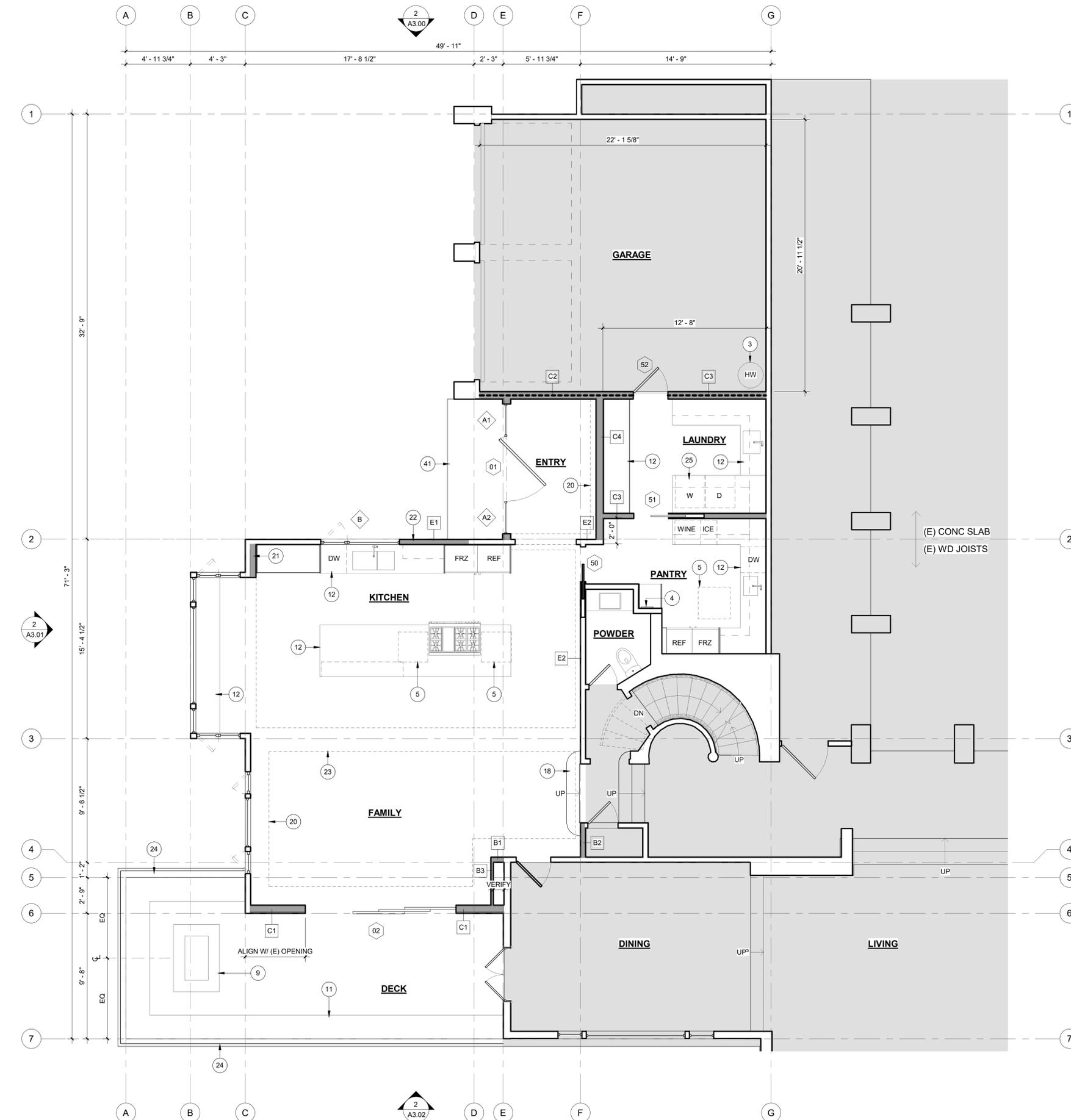
- EXISTING WALL TO REMAIN
- NEW WALL
- 1-HOUR RATED WALL
- NOT IN SCOPE OF WORK

KEYNOTE LEGEND

- 3 RELOCATE (E) WATER HEATER, CONTRACTOR TO PRICE (N) ON-DEMAND WATER HEATER REPLACEMENT AS ALTERNATE
- 4 (E) ELECTRICAL PANEL TO REMAIN, PAINT TO MATCH CABINERY
- 5 (E) SKYLIGHT ABOVE TO REMAIN, REMOVE (E) TRIM
- 9 (N) GAS FIREPIT, SEE APPLIANCE SCHEDULE
- 11 (N) BUILT-IN DECK BENCH
- 12 (N) BUILT-IN CASEWORK
- 18 (N) STONE STEP, FINISH AND NOSING TO MATCH (E)
- 20 LINE OF CROWN MOLDING ABOVE
- 21 FURR OUT WALL AS REQ'D TO ALIGN W/ CROWN MOLDING DEPTH ABOVE
- 22 PATCH (E) WINDOW OPENING TO MATCH ADJ FINISH
- 23 (N) DROPPED BEAM ABOVE, CLAD W/ WD CROWN MOLDING
- 24 (N) DECK WALL, RECONSTRUCT IN KIND W/ ADDED GLASS GUARDRAIL TO 42" AFF
- 25 WASHER/DRYER, CONTRACTOR TO VERIFY VIABILITY OF REUSING (E) DRYER EXHAUST VENT
- 41 (N) STONE LANDING EXTENSION

FLOOR PLAN GENERAL NOTES

1. PROVIDE MIN 36" x 36" LEVEL LANDINGS OUTSIDE AT EXTERIOR DOORS PER CBC SECTION 1008.1.5, WITH LANDINGS NOT MORE THAN 7.75" BELOW INSIDE FINISHED FLOORS AT INWARD SWINGING (OR SLIDING) DOORS AND 7.5" AT OUTWARD SWINGING PER CBC SECTION 1008.1.6. LANDINGS SHALL SLOPE 1/4" FT MIN. AWAY FROM DOORS.
2. PROVIDE SOUND ATTENUATION INSULATION AT INTERIOR WALLS AND FLOORS.
3. GLASS DOORS & PANELS OF SHOWER & BATHTUB ENCLOSURES & ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE OR DRAIN INLET SHALL BE TEMPERED SAFETY GLASS, AS PER CBC SECTION 2406.3 #5.
4. PROVIDE SKID-RESISTANT SURFACE ON BATHROOM FLOORS.
5. BASE MATERIAL BENEATH SHOWER PAN SLOPED TO DRAIN AS PER CPC SECTION 411.4.
6. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
7. SEPARATION BETWEEN GARAGE AND MAIN RESIDENCE AS PER CBC SECTION 406.3.4.1 SHALL BE SEPARATED BY 1/2" MIN. GYP BD. ON WALLS & 5/8" TYPE "X" GYP BD. OR EQUIVALENT ON CEILINGS WHEN A GARAGE IS BELOW A HABITABLE ROOM.
8. PER CRC R307.2 AND R702.4.2. BATHTUB/SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
9. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYP.
10. PROVIDE MIN 30" CLR WIDTH @ W.C. AND 24" CLR. FLOOR AREA AT FRONT OF BOWL.
11. ANNULAR SPACE AROUND PIPES, ELECTRIC OUTLETS, CONDUITS OR OTHER OPENINGS IN THE BUILDING'S ENVELOPE AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS (CALGREEN 4.406.1)
12. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 75 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 4.408.1 TIER 2.
13. ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N.



1 FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

project name
EWALD RESIDENCE

project address
**77 MNT. TIBURON RD
TIBURON CA, 94920**

apn #
058-261-06

client
CHASE AND CHARLES EWALD

sheet #
18-026

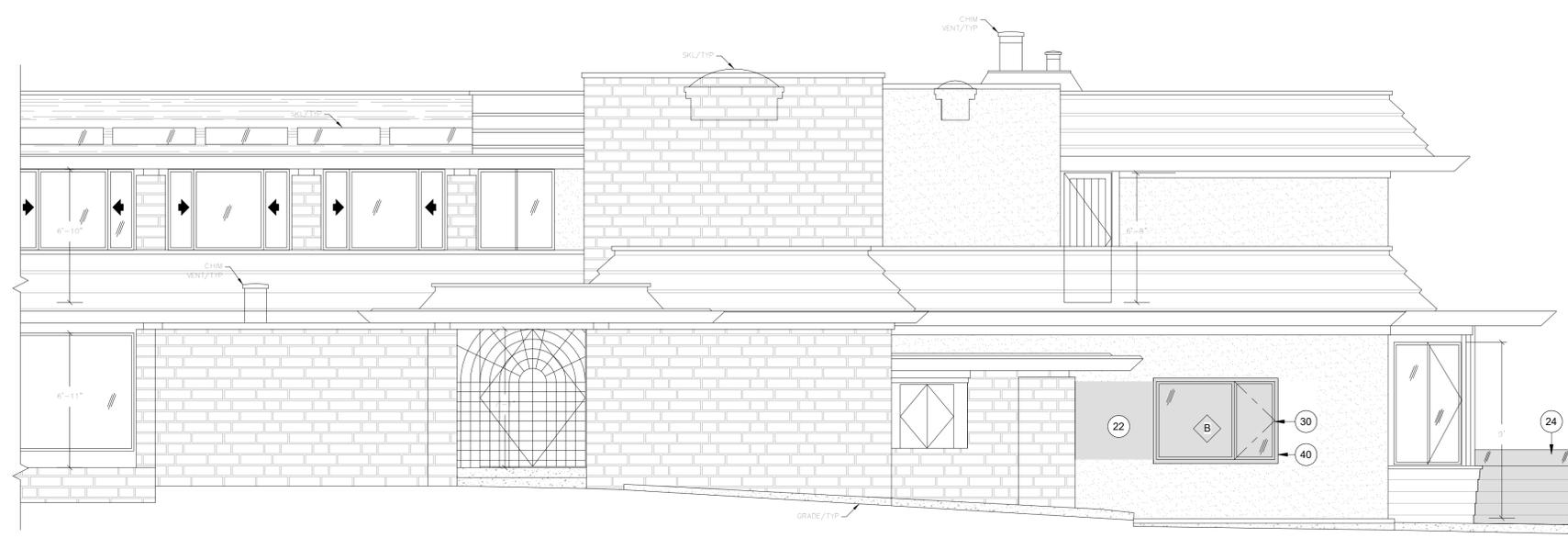
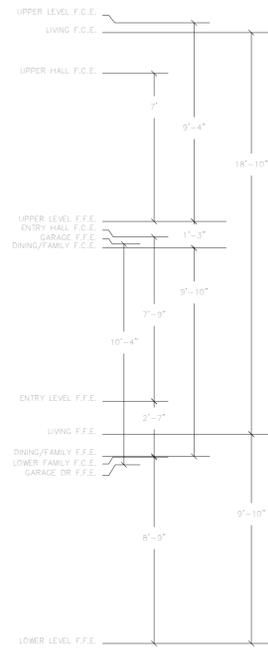
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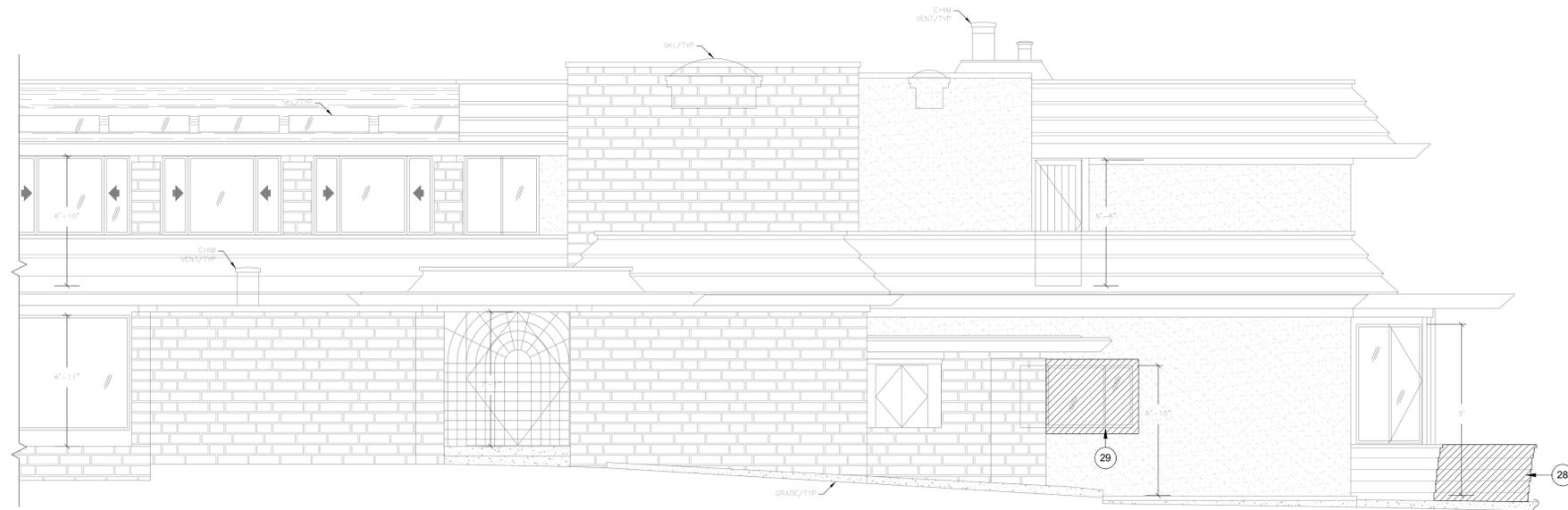
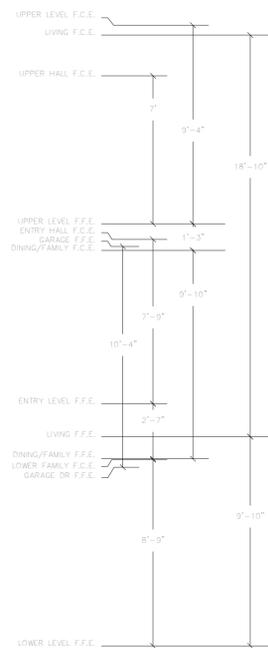
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**FLOOR PLAN - LEVEL
1**

A2.20
sheet



2 (P) NORTH ELEVATION
1/4" = 1'-0"



1 (E) NORTH ELEVATION
1/4" = 1'-0"

KEYNOTE LEGEND

- 22 PATCH (E) WINDOW OPENING TO MATCH ADJ FINISH
- 24 (N) DECK WALL, RECONSTRUCT IN KIND W/ ADDED GLASS GUARDRAIL TO 42" AFF
- 28 (E) DECK WALL TO BE REPLACED
- 29 DEMOLISH (E) WINDOW & TRIM
- 30 (N) ALUM WINDOW, FINISH & EXT TRIM TO MATCH (E)
- 40 (N) WD TRIM TO MATCH (E)

LEGEND

- (E) TO BE DEMOLISHED / REPLACED
- AREA OF (N) WORK

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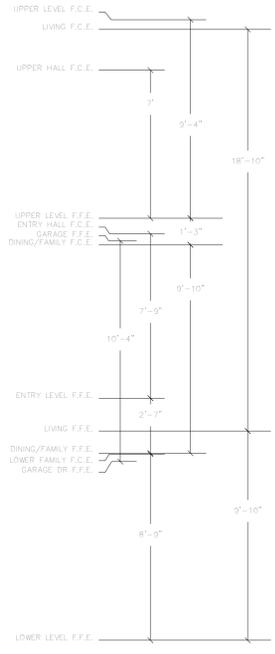
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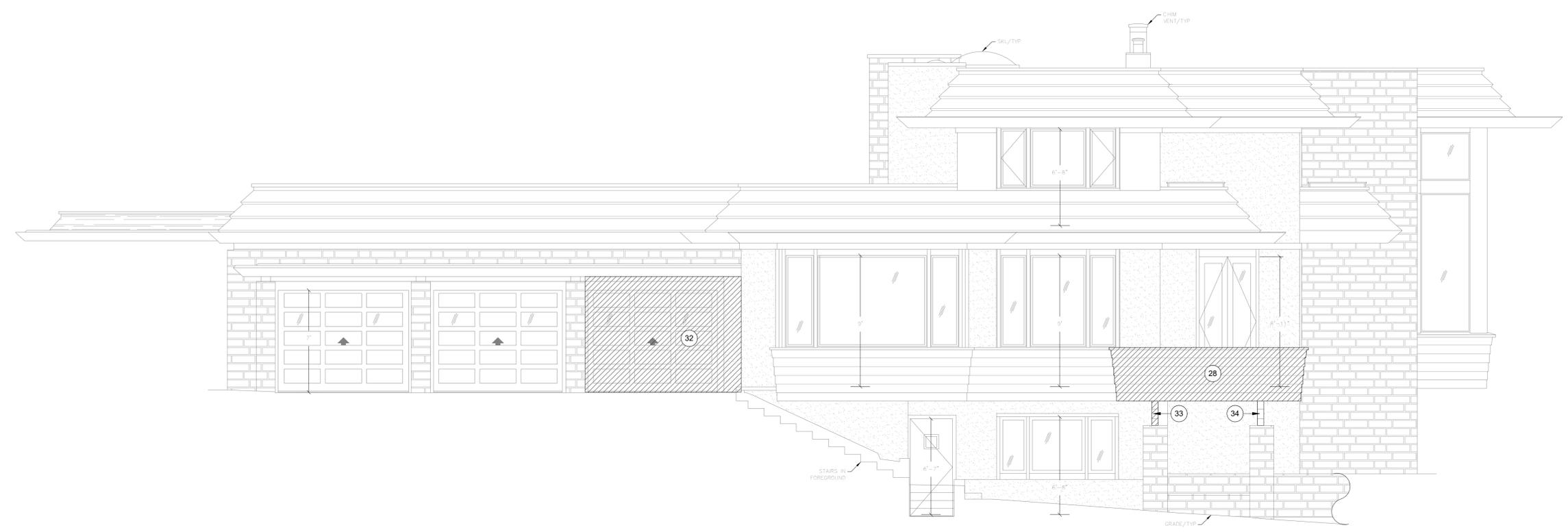
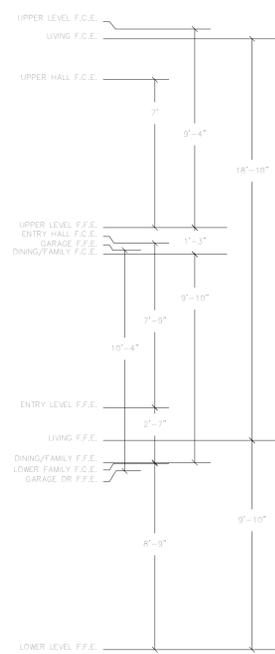
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**BUILDING
ELEVATIONS**

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sheet



2 (P) WEST ELEVATION
1/4" = 1'-0"



1 (E) WEST ELEVATION
1/4" = 1'-0"

KEYNOTE LEGEND

- 24 (N) DECK WALL, RECONSTRUCT IN KIND W/ ADDED GLASS GUARDRAIL TO 42" AFF
- 28 (E) DECK WALL TO BE REPLACED
- 31 (N) GLASS PIVOT DOOR & SIDELITES
- 32 DEMOLISH (E) GARAGE DOOR
- 33 (E) WD BEAM TO BE REPLACED, PNT TO MATCH (E)
- 34 (E) WD BEAM TO REMAIN, STRUCTURAL ENGINEER TO CONFIRM, REFINISH
- 40 (N) WD TRIM TO MATCH (E)
- 41 (N) STONE LANDING EXTENSION

LEGEND

- (E) TO BE DEMOLISHED / REPLACED
- AREA OF (N) WORK

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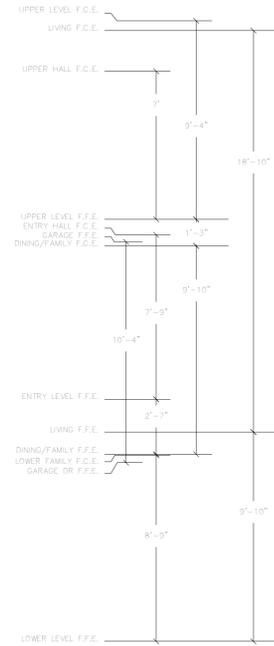
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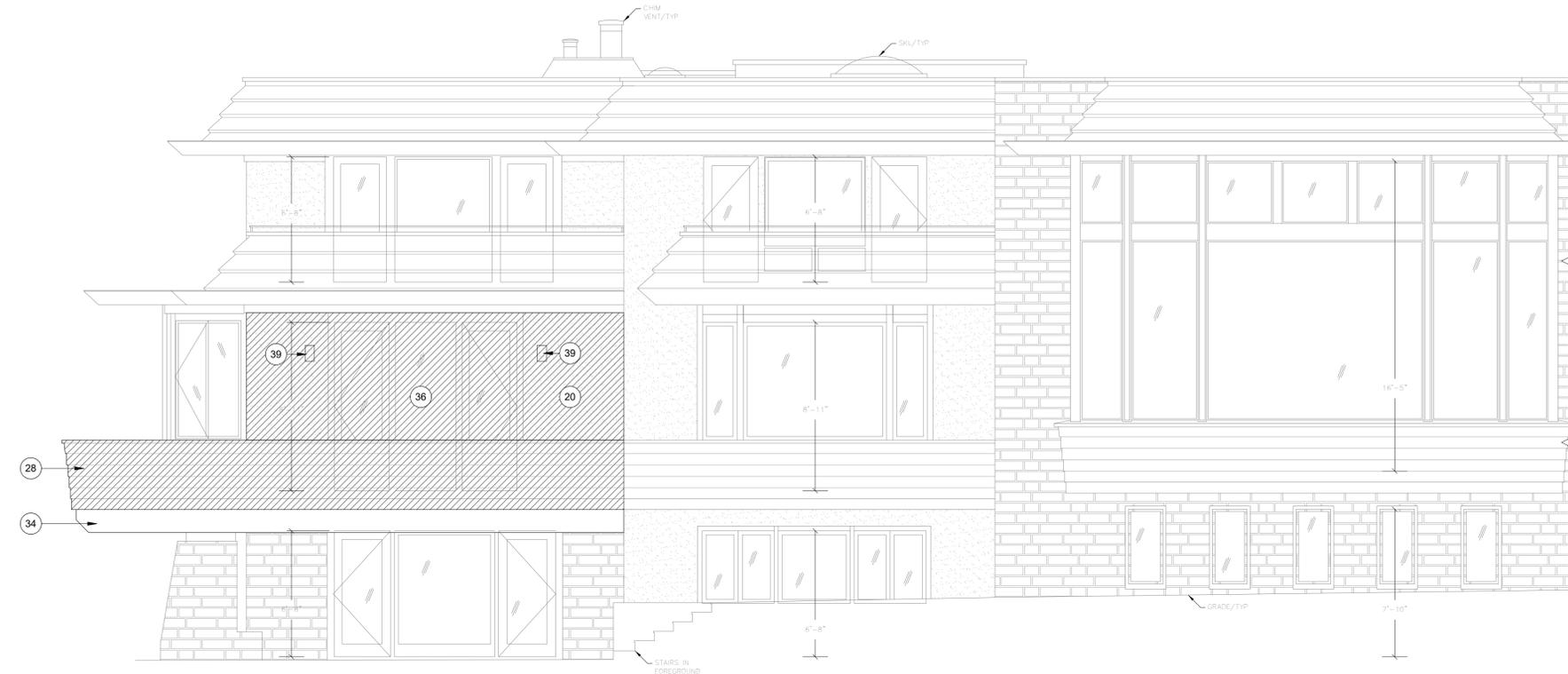
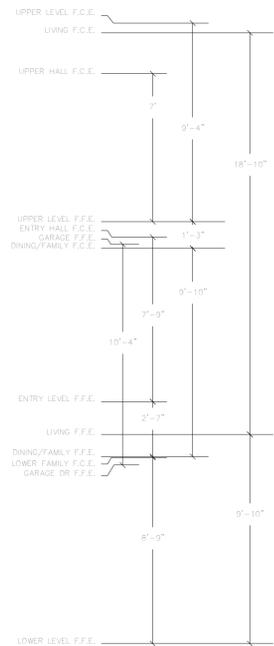
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**BUILDING
ELEVATIONS**

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sheet



2 (P) SOUTH ELEVATION
1/4" = 1'-0"



1 (E) SOUTH ELEVATION
1/4" = 1'-0"

KEYNOTE LEGEND

- 20 LINE OF CROWN MOLDING ABOVE
- 24 (N) DECK WALL, RECONSTRUCT IN KIND W/ ADDED GLASS GUARDRAIL TO 42" AFF
- 28 (E) DECK WALL TO BE REPLACED
- 34 (E) WID BEAM TO REMAIN, STRUCTURAL ENGINEER TO CONFIRM, REFINISH
- 35 (N) ALUM SLIDING DOOR, FINISH TO MATCH (E)
- 36 DEMOLISH (E) DOOR & TRIM
- 39 SAVE (E) SCONCE AND RE-INSTALL ON (N) WALL
- 40 (N) WID TRIM TO MATCH (E)

LEGEND

- (E) TO BE DEMOLISHED / REPLACED
- AREA OF (N) WORK

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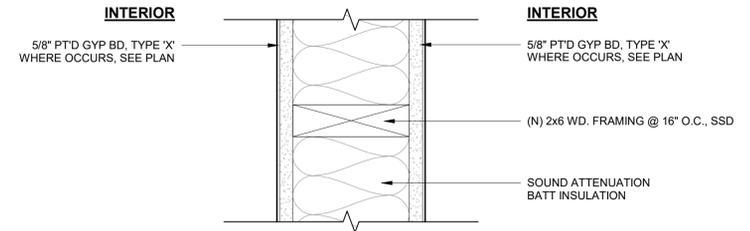
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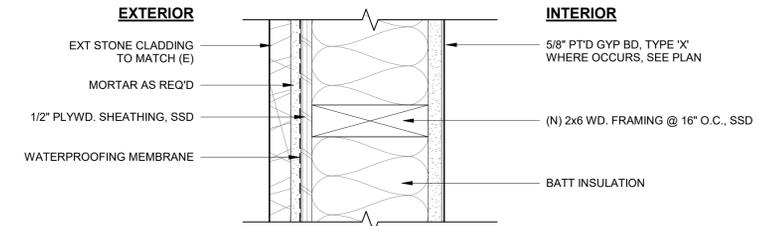
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**BUILDING
ELEVATIONS**

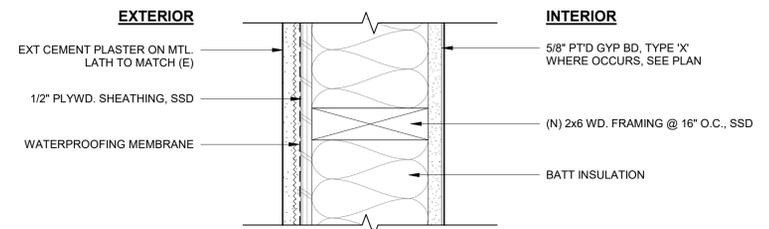
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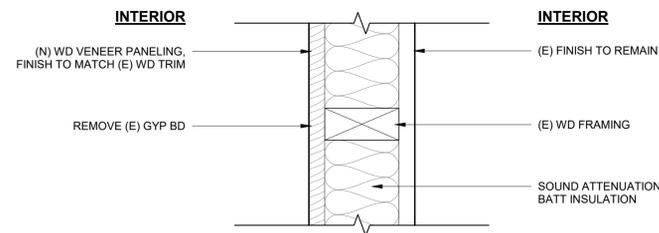
C3 2x6 - GYP. BD. / GYP. BD.
3" = 1'-0"



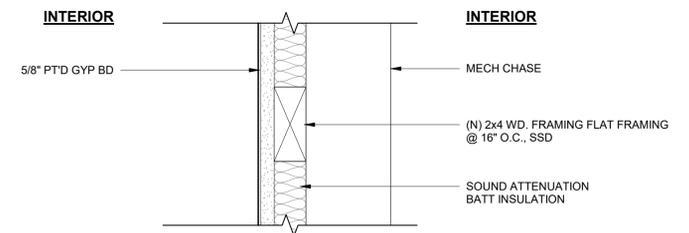
C2 2x6 - STONE CLADDING / GYP. BD.
3" = 1'-0"



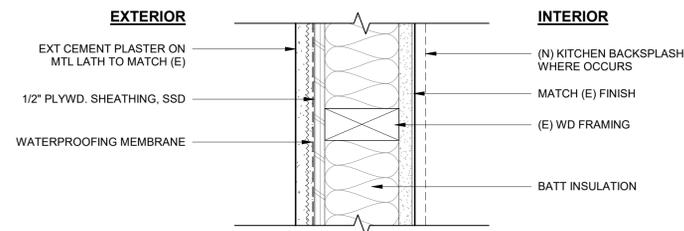
C1 2x6 - CEMENT PLASTER / GYP. BD.
3" = 1'-0"



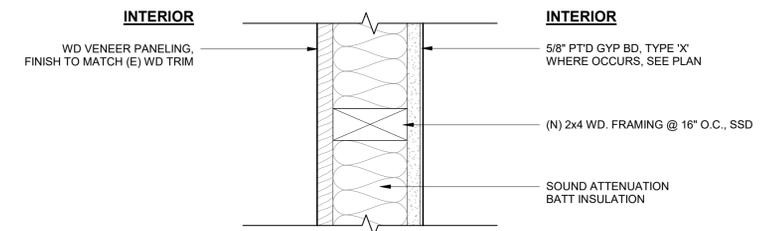
E2 (E) FRAMING - WD VENEER / GYP. BD.
3" = 1'-0"



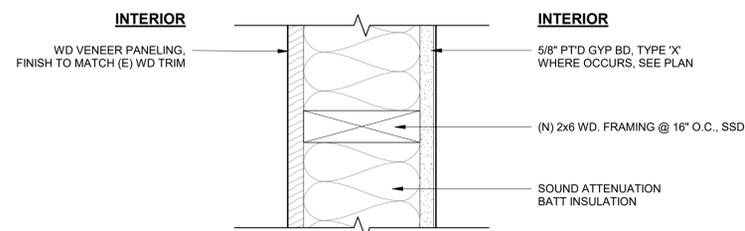
B3 2x4 FLAT FRAME - WD VENEER / -
3" = 1'-0"



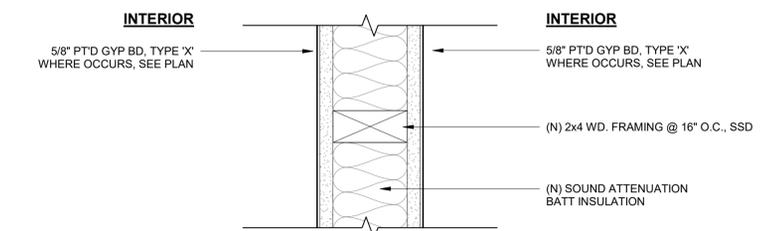
E1 (E) FRAMING - CEMENT PLASTER / GYP. BD.
3" = 1'-0"



B2 2x4 - WD VENEER / GYP. BD.
3" = 1'-0"



C4 2x6 - GYP. BD. / WD VENEER
3" = 1'-0"



B1 2x4 - GYP. BD. / GYP. BD.
3" = 1'-0"

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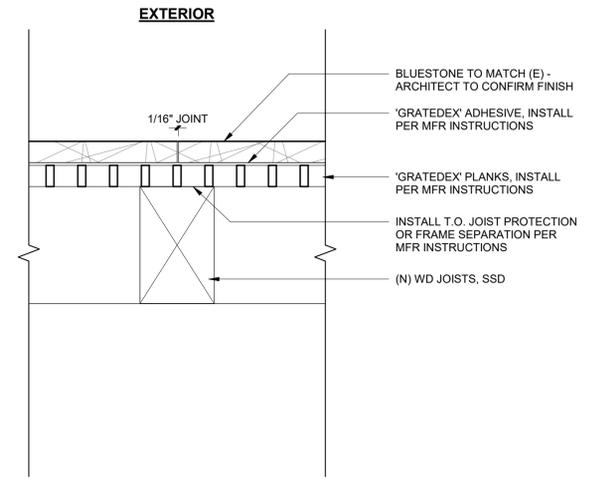
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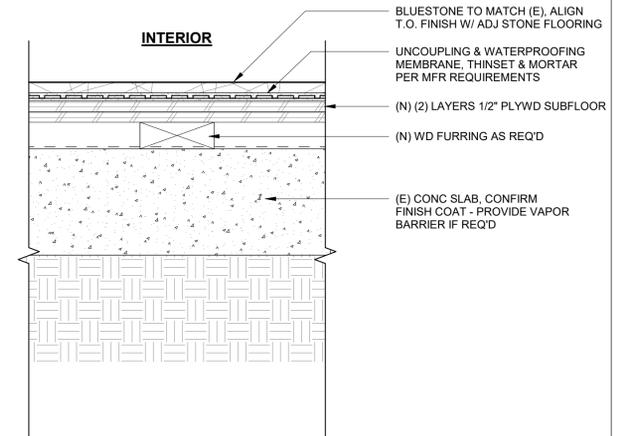
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WALL ASSEMBLIES

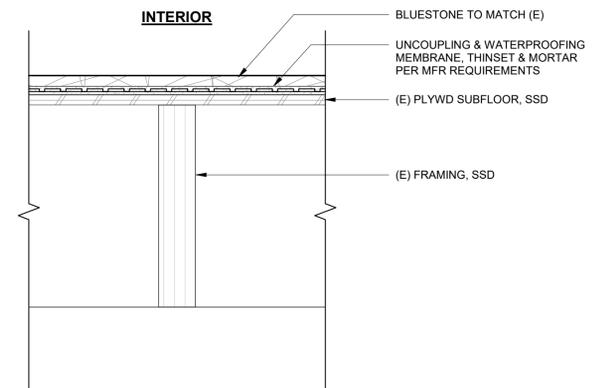
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B3 STONE DECK
3" = 1'-0"



B2 STONE FLOOR O/ (E) CONC
3" = 1'-0"



B1 STONE FLOOR O/ (E) FRAMING
3" = 1'-0"

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FLOOR / ROOF ASSEMBLIES

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INTERIOR DOOR SCHEDULE

MARK	TYPE	LOCATION	DOOR						FRAME		HARDWARE GROUP	NOTES
			WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH			
LEVEL 1												
50	PO	PANTRY	2'-8"	7'-0"	0'-1 1/2"	SCWD	WD	WD	WD	PO	ASSUME SUN VALLEY BRONZE HARDWARE	
51	PO	LAUNDRY	2'-8"	7'-0"	0'-1 1/2"	SCWD	PNT	WD	PNT	PO	ASSUME EMTEK HARDWARE	
52	SW	GARAGE	2'-8"	7'-0"	0'-1 3/4"	SCWD	PNT	WD	PNT	PR	ASSUME EMTEK HARDWARE	
76	S		2'-2"	6'-8"	0'-1"							

EXTERIOR DOOR SCHEDULE

MARK	TYPE	LOCATION	FRAME				GLASS			PRODUCT		HARDWARE GROUP	NOTES
			WIDTH	HEIGHT	MATERIAL	FINISH	GLAZING	U VALUE	SHGC	MANUFACTURER	SERIES		
LEVEL 1													
01	PV	ENTRY	5'-0"	7'-1 1/2"	AL / GL	PNT	I, T			FLEETWOOD	3440-T		CONFIRM HEIGHT W/ EXISTING CONDITIONS
02	SL	FAMILY	11'-8"	9'-0"	AL / GL	PNT	I, T			FLEETWOOD	3070-T		CONFIRM WIDTH & HEIGHT W/ EXISTING CONDITIONS
75	R		2'-5"	6'-5"									

WINDOW SCHEDULE

MARK	TYPE	LOCATION	FRAME				GLASS			PRODUCT		HARDWARE GROUP	NOTES
			WIDTH	HEIGHT	MATERIAL	FINISH	GLAZING	U VALUE	SHGC	MANUFACTURER	SERIES		
LEVEL 1													
A1	FX	ENTRY	2'-6"	7'-1 1/2"	AL / GL	PNT	I, T			FLEETWOOD	3800-T		CONFIRM WIDTH AND HEIGHT WITH EXISTING CONDITIONS
A1	FX	ENTRY	2'-6"	7'-1 1/2"	AL / GL	PNT	I, T			FLEETWOOD	3800-T		CONFIRM WIDTH AND HEIGHT WITH EXISTING CONDITIONS
B	FX / CS	KITCHEN	6'-1"	4'-0"	AL / GL	PNT	I			FLEETWOOD	250-T		

DOOR ABBREVIATIONS

DOOR TYPE:
 SW SWING DOOR
 PV PIVOT DOOR
 SL MULTI-PANEL SLIDING DOOR

DOOR CONSTRUCTION:
 GA GARAGE
 HC HOLLOW CORE
 SC SOLID CORE
 SR STILE & RAIL W/ GLASS

FINISH:
 WD WOOD VENEER
 PNT PAINT

GLASS TYPE:
 I DOUBLE GLAZED LOW-E2
 S SINGLE GLAZED
 SB SAND BLASTED
 T TEMPERED
 TN TINTED

DOOR HARDWARE GROUP
 CL CLOSET
 EX EXTERIOR LOCK W/ DEAD BOLT
 PA PASSAGE
 PO POCKET DOOR W/LOCK
 PR PRIVACY

WINDOW ABBREVIATIONS

WINDOW TYPES:
 AN AWNING
 CS CASEMENT
 DH DOUBLE HUNG
 FR 45 MIN RATED LABELED UNIT
 FX FIXED
 GB GLASS BLOCK
 HP HOPPER
 SKY SKYLIGHT
 SL SLIDER
 TT TILT TURN

GLASS TYPE:
 GB GLASS BLOCK
 I DOUBLE GLAZED LOW-E2
 S SINGLE GLAZED
 SB SAND BLASTED
 T TEMPERED
 TN TINTED

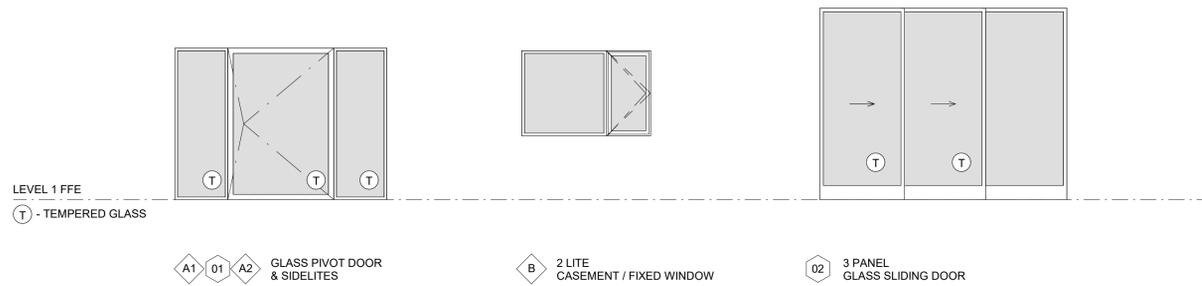
MATERIAL:
 AL ALUMINUM
 WD WOOD
 STL STEEL

WINDOW & SKYLIGHT NOTES

- GLAZING REQUIREMENTS (MINIMUM):**
 ALL WINDOWS, SKYLIGHT AND DOOR GLAZING IS TO BE INSULATED, DOUBLE PANE, WITH LOW-E2 COATINGS, UNLESS OTHERWISE NOTED - VERIFY WITH TITLE 24 ENERGY COMPLIANCE FORMS FOR REQUIRED U-FACTOR AND SHGC VALUES.
- TEMPERED GLAZING:**
 WINDOWS AT LOCATIONS ADJACENT TO EXTERIOR/INTERIOR DOORS AND AT BOTTOM/TOP OF STAIRS SHALL HAVE TEMPERED GLASS IN ALL PANELS WITHIN 18" OF FIN. FLOOR AND WITHIN A 24" ARC FROM THE VERTICAL EDGE OF ANY DOOR OPENINGS. PROVIDE TEMPERED GLASS AT ALL LOCATIONS NOTED AND A S REQUIRED BY ALL ORDINANCES AND REGULATIONS ADOPTED BY GOVERNING AGENCIES: CITY, COUNTY, STATE AND FEDERAL AS THEY APPLY. 'TG' DENOTES TEMPERED GLASS PANELS.
- EGRESS WINDOW:**
 ALL EGRESS WINDOWS TO COMPLY WITH CBC SECTION 1026.2. VERIFY THAT ALL EGRESS WINDOWS HAVE CLEAR NET OPENING AREA OF 5.7 SF MIN. WITH 24" MIN. CLEAR OPENING HEIGHT AND 20" MIN. CLEAR OPENING WIDTH. FINISHED SILL HEIGHT NOT TO BE MORE THAN 44" ABOVE THE FLOOR.
- WINDOW SIZES:**
 DIMENSIONS SHOWN ARE NOMINAL FRAME SIZES. VERIFY REQUIRED ROUGH OPENINGS SIZES WITH MANUFACTURER'S SPECIFICATIONS AND FIELD VERIFY PRIOR TO ORDERING.
- SCREENS:**
 PROVIDE SCREENS AT ALL OPERABLE WINDOWS AND SKYLIGHTS, TYP.

BRAKE METAL

- ALL ALUMINUM BRAKE METAL SHAPES AS INDICATED ON WINDOW SCHEDULE (SHADED), DETAILS, AND EXTERIOR ELEVATIONS SHALL BE PROVIDED TO MATCH FINISH AND COLOR OF WINDOW AND DOOR SYSTEMS. CONTRACTOR TO VERIFY SIZES AND QUANTITY. COORDINATE VERTICAL AND HORIZONTAL JOINTS WITH ARCHITECT.



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**DOOR & WINDOW
SCHEDULES**



MEP LEGEND

- SWITCH
- SWITCH w/ DIMMER
- SWITCH w/ THREWAY
- SWITCH w/ VACANCY SENSOR
- SWITCH w/ HUMIDISTAT
- LIGHTING CONTROL KEYPAD
- OUTLET - DUPLEX / QUADPLEX
- OUTLET - GFI
- OUTLET - WATERPROOF
- OUTLET - APPLIANCE
- OUTLET - PLUG MOLD
- OUTLET - FLOOR DUPLEX / QUADPLEX
- OUTLET - CEILING DUPLEX / QUADPLEX
- DATA JACK
- DATA / PHONE JACK
- PHONE JACK
- TV HOOKUP
- J-BOX
- BUNDLED WIRE
- WIRELESS ACCESS POINT - WALL / CEILING MOUNT
- ELECTRICAL PANEL
- SPEAKER - WALL / CEILING MOUNT
- SMOKE & CARBON MONOXIDE DETECTOR - WALL / CEILING MOUNT
- FAN - WALL / CEILING MOUNT
- LIGHT - RECESSED CAN
- LIGHT - RECESSED DIRECTIONAL CAN
- LIGHT - SURFACE MOUNTED
- LIGHT - WALL MOUNT FIXTURE
- LIGHT - FLUORESCENT
- LIGHT - FLUORESCENT STRIP
- LIGHT - STEP
- HOSE BIB
- NATURAL GAS

KEYNOTE LEGEND

- 3 RELOCATE (E) WATER HEATER, CONTRACTOR TO PRICE (N) ON-DEMAND WATER HEATER REPLACEMENT AS ALTERNATE
- 4 (E) ELECTRICAL PANEL TO REMAIN, PAINT TO MATCH CABINETRY
- 25 WASHER/DRYER, CONTRACTOR TO VERIFY VIABILITY OF REUSING (E) DRYER EXHAUST VENT
- 39 SAVE (E) SCONCE AND RE-INSTALL ON (N) WALL

MEP PLAN GENERAL NOTES

1. DUAL SENSOR PHOTOELECTRIC / IONIZATION SMOKE ALARMS ARE REQUIRED IN ALL AREAS/ROOMS USED FOR SLEEPING AND IN THE IMMEDIATE VICINITY OUTSIDE THESE AREAS/ROOMS.
2. A DUAL SENSOR PHOTOELECTRIC / IONIZATION SMOKE ALARM SHALL BE PROVIDED AT EACH FLOOR LANDING OF ALL INTERIOR STAIRCASES AND ELEVATOR SHAFT.
3. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF A KITCHEN, BATHROOM, OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE.
4. CARBON MONOXIDE AND SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, BE EQUIPPED WITH BATTERY BACK-UP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.
5. FOR PLACEMENT OF SMOKE ALARMS AND CARBON MONOXIDE ALARMS IN ROOMS WITH VARIATIONS IN CEILING HEIGHT (SLOPED, PITCHED ETC.), REFER TO THE MANUFACTURERS GUIDELINES FOR PROPER PLACEMENT.
6. SWITCHING LOCATIONS TO BE VERIFIED IN FIELD BY CLIENT & ARCHITECT.

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MEP PLAN - LEVEL 1

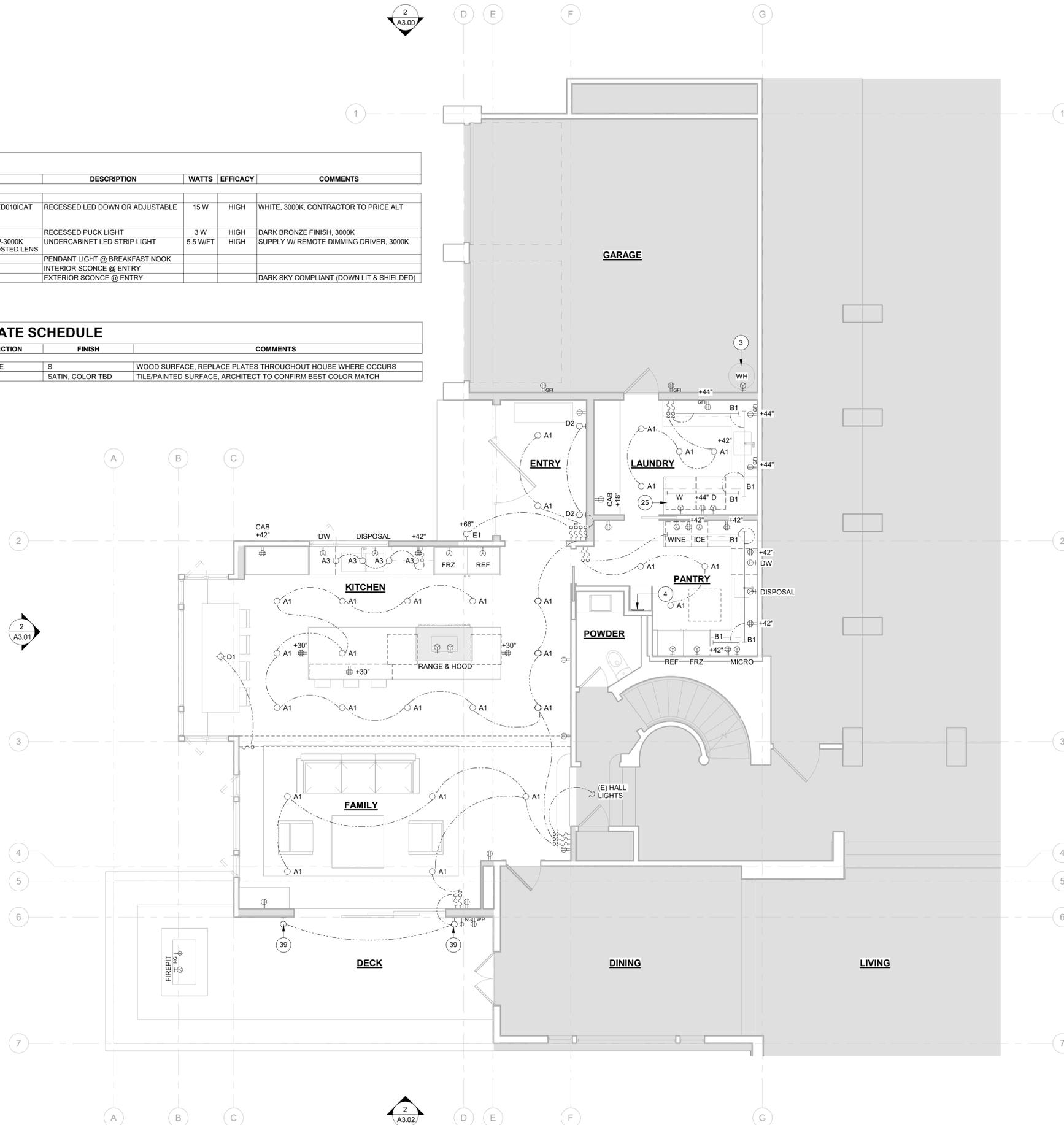
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LUMINAIRE SCHEDULE

MARK	MFR	MODEL	DESCRIPTION	WATTS	EFFICACY	COMMENTS
A1	HALO	HOUSING: HL36A15927ED010ICAT OPTIC: TIR45FL40 TRIM: TL3R2GMW	RECESSED LED DOWN OR ADJUSTABLE	15 W	HIGH	WHITE, 3000K, CONTRACTOR TO PRICE ALT
A3	WAC LIGHTING	HR-LED87-DB	RECESSED PUCK LIGHT	3 W	HIGH	DARK BRONZE FINISH, 3000K
B1	ALLOYLED	STRIP: PRIMALINE 5.5LP-3000K CHANNEL: SURFA3-FROSTED LENS	UNDERCABINET LED STRIP LIGHT	5.5 W/FT	HIGH	SUPPLY W/ REMOTE DIMMING DRIVER, 3000K
D1	ALLIED MAKER	TBD	PENDANT LIGHT @ BREAKFAST NOOK			
D2	ALLIED MAKER	TBD	INTERIOR SCONCE @ ENTRY			
E1	TBD	TBD	EXTERIOR SCONCE @ ENTRY			DARK SKY COMPLIANT (DOWN LIT & SHIELDED)

OUTLET AND SWITCH PLATE SCHEDULE

MARK	MFR	COLLECTION	FINISH	COMMENTS
	SUN VALLEY BRONZE	BEVEL EDGE	S	WOOD SURFACE, REPLACE PLATES THROUGHOUT HOUSE WHERE OCCURS
	LUTRON	DESIGNER	SATIN, COLOR TBD	TILE/PAINTED SURFACE, ARCHITECT TO CONFIRM BEST COLOR MATCH



1 LEVEL 1 - MEP PLAN
1/4" = 1'-0"