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SITE DATA

ZONING: RO-2

ITEM	REQUIRED/MIN/MAX	EXISTING	PROPOSED
Maximum Height	30' Main, 15' Pool House	28'-0" +/-	NO CHANGE
# of Stories		3	NO CHANGE
Lot Area		32,511 SF	NO CHANGE
Setbacks			
Front (MIN)	30'	58'-11" +/-	NO CHANGE
Right Side (MIN)	15'	19'-11" +/-	NO CHANGE
Left Side (MIN)	15'	40'-1" +/-	32'-7" +/-
Rear (MIN)	20% TO 25'	52'-0" +/-	49'-7" +/-
Floor Areas			
House Floor Area (+ (N) Sauna)	5,251 SF + 600 SF Garage	3,998 SF	4,094 SF
FAR % (MAX)		12.2%	12.5%
Lot Coverage			
Lot Coverage (MAX)	4,877 SF	2,678 SF	3,425 SF
Lot Coverage % (MAX)	15%	8.2%	10.5%
Off Street Parking			NO CHANGE
Impervious Surfaces		7,105 SF	8,909 SF
Land Area to be Disturbed			18,200 SF
Amount of Grading			270 CY CUT / 260 CY FILL / EXPORT 10 CY

HOMES RESIDENCE SHADE STRUCTURE ADDITION

4 OLD LANDING ROAD, TIBURON, CA 94920

APN: 038-162-55

PROJECT DESCRIPTION

- ADD NEW SHADE STRUCTURE
- REPLACE (E) WINDOWS AND DOORS AT DINING ROOM WITH (N) ACCORDIAN DOOR
- REPLACE (E) WINDOW AT KITCHEN WITH (N) WINDOW
- (N) LANDSCAPE DESIGN, SEE LANDSCAPE PLANS



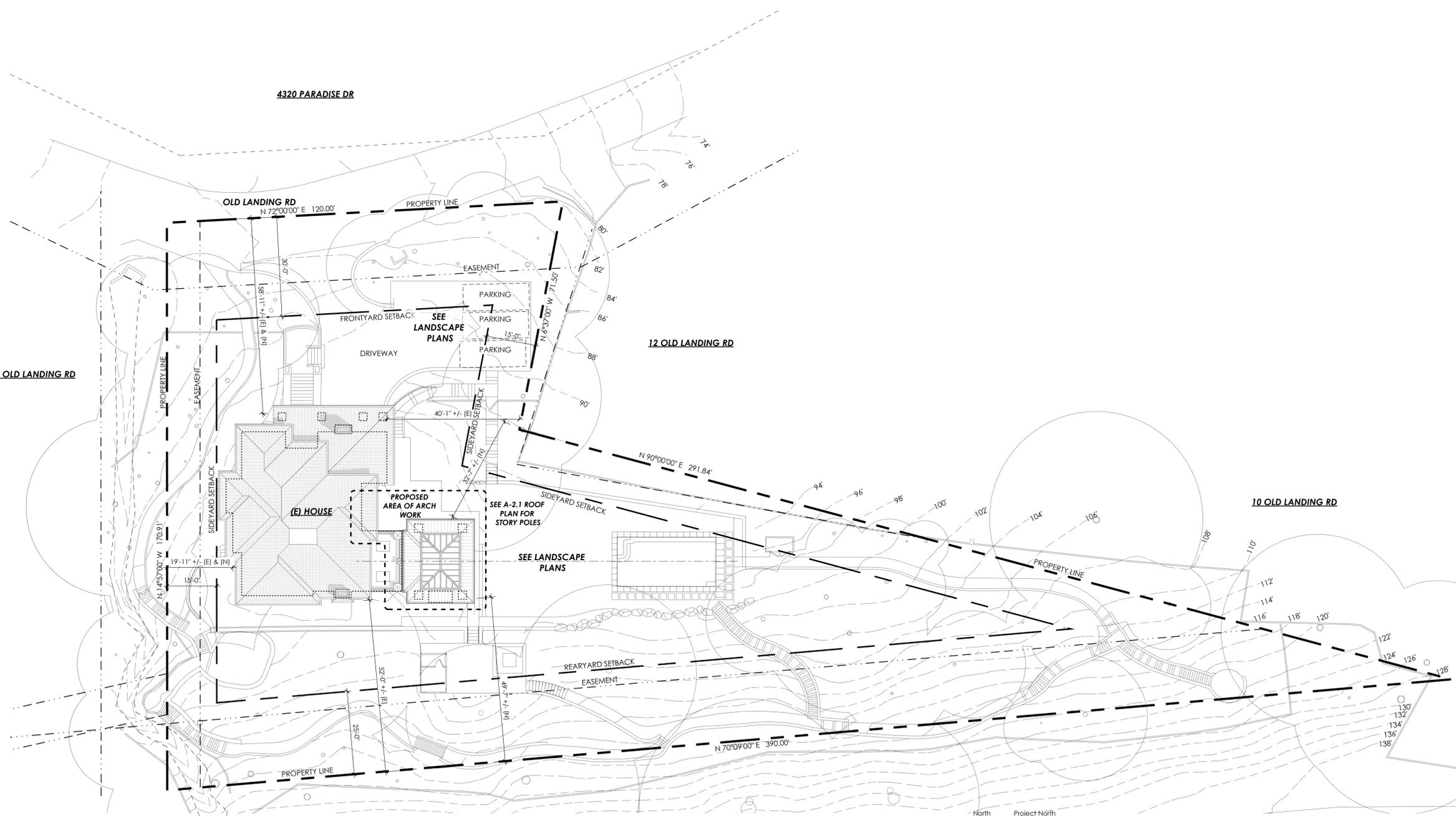
POMODORO ARCHITECTS
 6444 Pine Needle Dr.
 Oakland, CA 94611
 PHONE: 650-691-8345
 WWW.POMODOROARCHITECTS.COM

LICENSED ARCHITECT
 01/09/26
 C-34145
 05/31/2027
 RENEWAL DATE

REVISIONS
 1 01/09/26 PLANNING REVISION

2 VICINITY MAP
 A-1.0 NO SCALE

North Project North



1 PROPOSED SITE PLAN
 A-1.0

SCALE: 1/16" = 1'-0"
 North Project North

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ARCH	A-3.1	ELEVATIONS
ARCH	A-3.2	PERSPECTIVES & MATERIALS
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EXIST'G	EX-2.0	EXISTING FLR AND ROOF PLANS, ELEV & PERSPECTIVES
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HOMES RESIDENCE SHADE STRUCTURE ADDITION
 4 Old Landing Rd.
 Tiburon, CA, 94920
 APN: 038-162-55

TITLE:
 Proposed Site Plan, Vicinity Map & Site Data

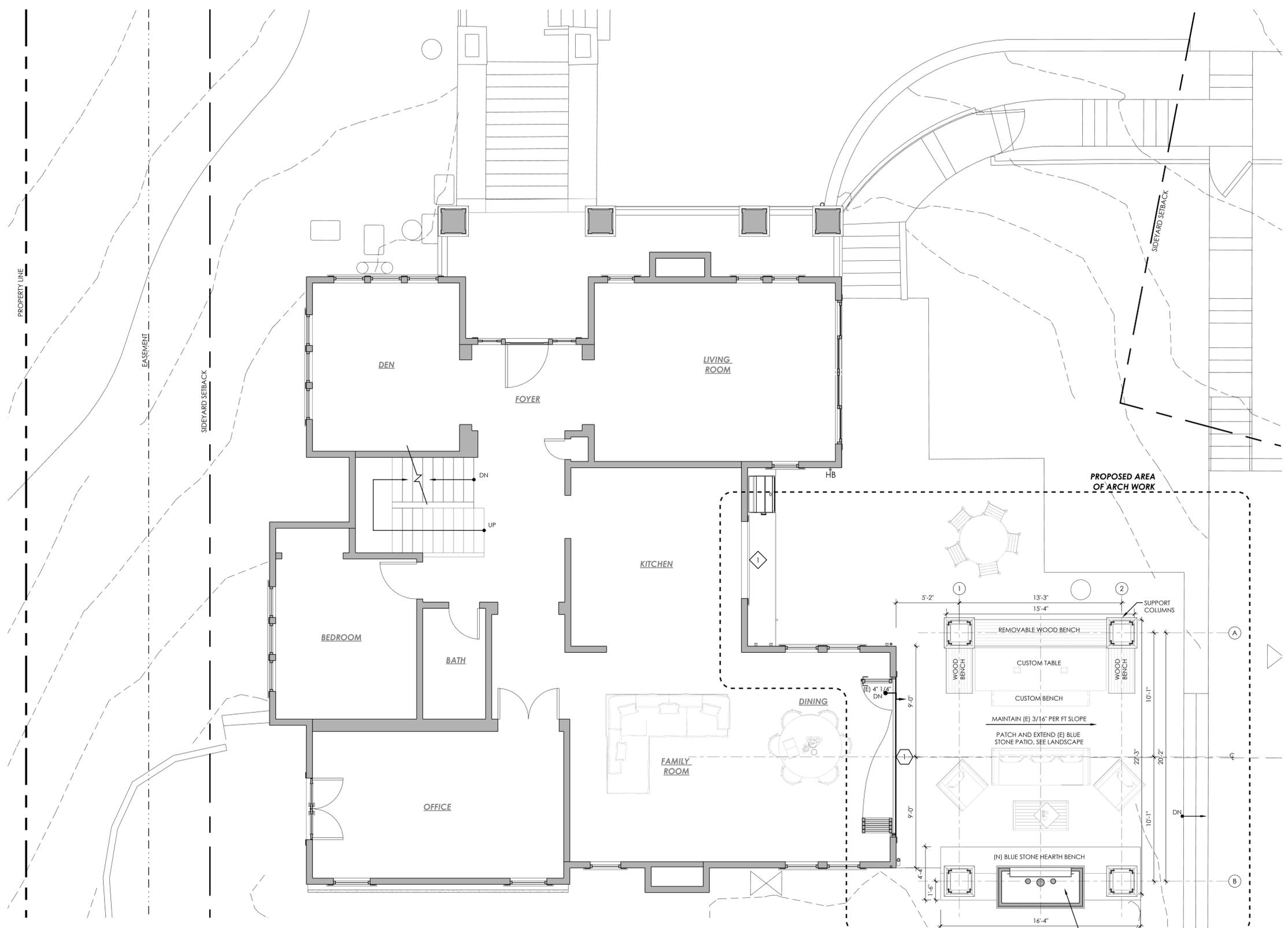
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NO.	DATE	REVISIONS
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WINDOW SCHEDULE

NO.	ROOM	FUNCTION	WIDTH	HEIGHT	HEAD HEIGHT	BRAND	SERIES	FIN INT/EXT	HARDWARE FINISH	GLASS	SCREEN	SHADE	EXT SHADE	REMARKS
1	KITCHEN	AWNING SERVERY	6'-3" VERIFY (E) OPENING	4'-4" VERIFY (E) OPENING	8'-0" VERIFY (E) OPENING	MARVIN	ULTIMATE	INT: WHITE PAINT GRADE WOOD / EXT: WHITE ANODIZED METAL CLADDING	SATIN NICKEL CONTEMPORAY + CONTEMPORARY LOCK	SOLARBAN 60 LOW-E GLASS, TEMP GLS	NONE	NONE	NONE	

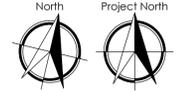
EXTERIOR DOOR SCHEDULE

NO.	ROOMS	FUNCTION	WIDTH	HEIGHT	GLASS	SCREEN	HARDWARE	MANUFACTURER	SERIES/MODEL	FIN INT/EXT	SHADE	REMARKS
1	FAMILY ROOM	5 PANEL ACCORDION W/ MAN DOOR	13'-0" VERIFY (E) OPEN'G	8'-1 1/2" VERIFY (E) OPEN'G	LOW E CARDINAL 272 TEMP GLS	NONE	SATIN NICKEL	NANAWALL	NW WOOD 540	INT: PAINT GRADE WOOD WHITE EXT: PAINT EXT GRADE WOOD WHITE	NONE	

(N) GAS FIREPLACE:
 FIREPLACE XTRODINAIR
 6015 HIGH OUTPUT DELUXE: 98500334
 2" FLAT TRIM KIT: 93900378
 BIRCH LOGSET: 94500974
 BRONZE CRUSHED GLASS: 94500581
 BLACK GLASS FIREBACK: 96100980
 COOLSMART TV PLUS WALL KIT: 98900776
 TESTED AND LISTED BY ETL # G100866539PRT-001

1 PROPOSED FLOOR PLAN
 A-2.0

SCALE: 1/4" = 1'-0"



**HOMES RESIDENCE SHADE
 STRUCTURE ADDITION**
 4 Old Landing Rd.
 Tiburon, CA, 94920
 APN: 038-162-55

TITLE:
 Proposed Floor Plan

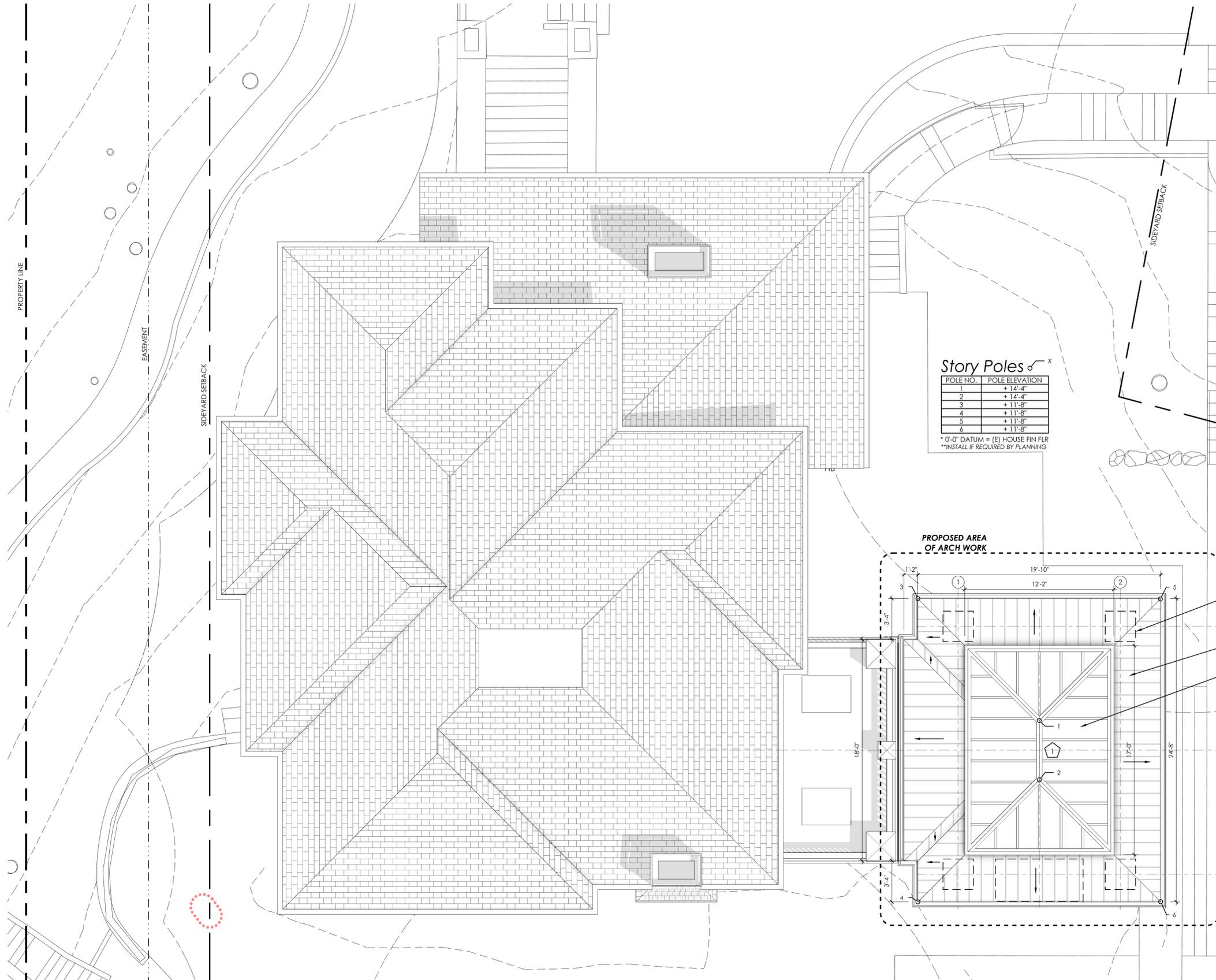
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NO.	DATE	REVISIONS
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Story Poles ^x

POLE NO.	POLE ELEVATION
1	+ 14'-4"
2	+ 14'-4"
3	+ 11'-8"
4	+ 11'-8"
5	+ 11'-8"
6	+ 11'-8"

* 0'-0" DATUM = (E) HOUSE FIN FLR
 **INSTALL IF REQUIRED BY PLANNING

ALL EXTERIOR LIGHTING SHALL BE SHIELDED DOWN LIGHTING TO MEET TOWN CODE SECTION 16-30.070

EXTERIOR CEILING FIXTURES



A: JUNO 2LEDDRIVER G2 10LM 120 FRPC JUNO 2LEDTRIM G2 DC 30K 90CRI FL WWH

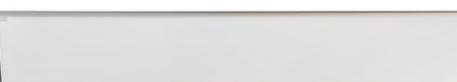
C: 60" BIG ASS FANS HAIKU COASTAL CEILING FAN W/ DOWNLIGHT, MK-HK1-052506A824F824110S2



B: JUNO 2LEDDRIVER G2 10LM 120 FRPC JUNO 2LEDTRIM G2 DC 30K 90CRI FL BBL



D: FOCAL 300 ICA 6 In-ceiling speaker with angled coaxial driver



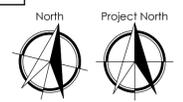
E: (N) BROMIC PLATINUM MARINE SMART-HEAT ELECTRIC. WHITE, BH3622003 4500W 220-240V/118.8A INTERTEK ETL .CEIL 5001799, IP54

SKYLIGHT SCHEDULE

NO.	ROOM	FUNCTION	WIDTH R.O.	LENGTH R.O.	BRAND	SERIES	FIN INT/EXT	GLASS	SCREEN	SHADE	EXT SHADE	REMARKS
1	SHADED PORCH	FIXED	12'-2"	17'-0"	VELUX	FINNACLE 350 SYSTEM	INT: WHITE / EXT: WHITE	VITRO SOLARBROUNZED SOLARBAN® 90 TEMP GLS W/ LAMINATED SAFETY GLS. VERIFY W/ OWNERS	* NA	OPTION: ELECTROCHROMIC GLS. VERIFY W/ OWNERS	NONE	

1 PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



2 PROPOSED REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



HOMES RESIDENCE SHADE STRUCTURE ADDITION
 4 Old Landing Rd.
 Tiburon, CA, 94920
 APN: 038-162-55

TITLE: Proposed Roof Plans

SCALE: NOTED
 DRAWN BY: CAP
 CHECKED BY: CAP
 DATE: Aug 5th, 2025

A-2.1

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NO.	REMARKS
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1 PROPOSED SOUTH ELEVATION
 A-3.0 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
 A-3.0 SCALE: 1/4" = 1'-0"

**HOMES RESIDENCE SHADE
 STRUCTURE ADDITION**
 4 Old Landing Rd.
 Tiburon, CA, 94920
 APN: 038-162-55

TITLE:
 Proposed Elevations

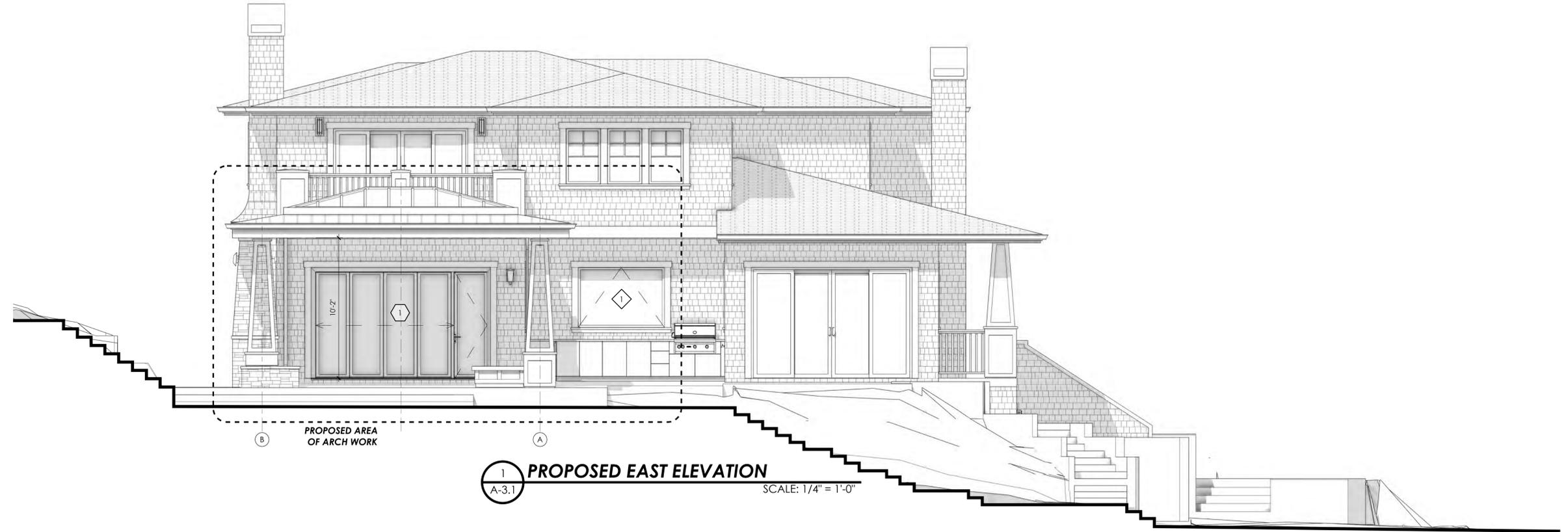
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1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

**HOMES RESIDENCE SHADE
STRUCTURE ADDITION**
4 Old Landing Rd.
Tiburon, CA, 94920
APN: 038-162-55

TITLE:
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1 PROPOSED PERSPECTIVE
A-3.2



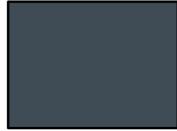
2 PROPOSED PERSPECTIVE
A-3.2



FIREPLACE
HEARTH SIDES AND CHIMNEY STONE
K2 STONE, 60% NATURAL, 40% ARBUTUS
TO MATCH LANDSCAPE RETAINING
WALLS, SEE LANDSCAPE PLANS



FIREPLACE
HEARTH TOP AND CAPS STONES
BLUE STONE TO MATCH LANDSCAPE
PORCH STONE, SEE LANDSCAPE
PLANS



**COLUMNS, TRIM, GUTTERS
& DOWNSPOUTS**
TO MATCH (E) HOUSE TRIM
APPROXIMATE BENJAMIN MOORE
MATCH; BLUE NOTE, 2129-30
VERIFY WITH SAMPLE



**WINDOW, DOOR &
SKYLIGHT**
WHITE TO MATCH (E) HOUSE
WINDOWS & DOORS



METAL SEAM ROOF
ARCHITECTURAL KYNAR 500 BUCKSKIN
PVF 40 YEAR LTD FINISH WARRENTY
INTENDED TO APPROXIMATELY MATCH
HUE OF (E) ASPHALT SHINGLE ROOF

5 PROPOSED MATERIALS
A-3.2



3 PROPOSED PERSPECTIVE
A-3.2



4 PROPOSED PERSPECTIVE
A-3.2



NO.	DATE	REVISIONS	REMARKS
1	01/09/26	PLANNING REVISION	

TITLE:
Proposed
Perspectives &
Materials

SCALE:	NOTED
DRAWN BY:	CAP
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DATE:	Aug 5th, 2025

HOMES RESIDENCE SHADE STRUCTURE ADDITION

4 OLD LANDING ROAD, TIBURON, CA 94920

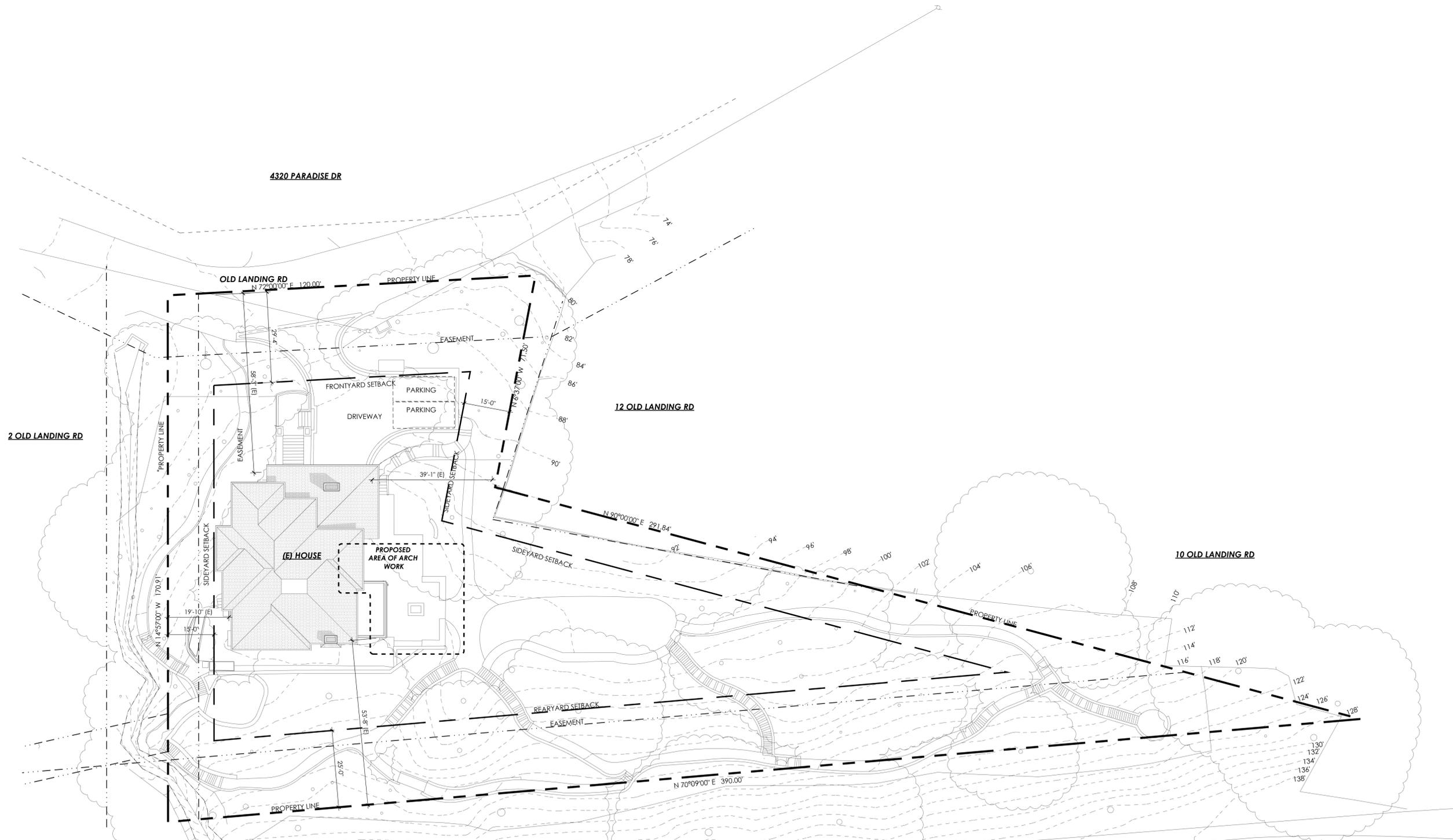
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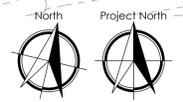
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1 EXISTING SITE PLAN
 EX-1.0

SCALE: 1/16" = 1'-0"



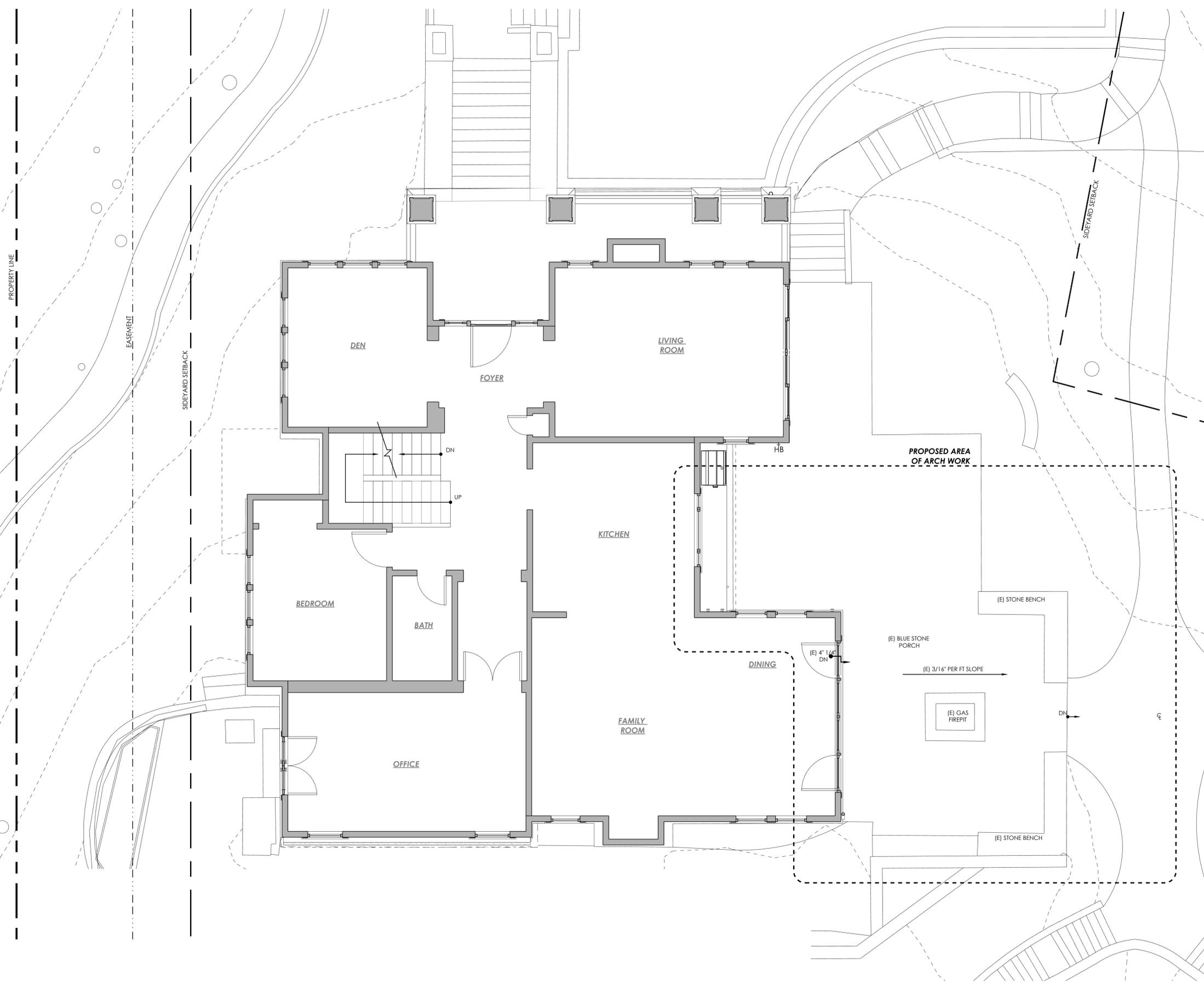
HOMES RESIDENCE SHADE STRUCTURE ADDITION
 4 Old Landing Rd.
 Tiburon, CA, 94920
 APN: 038-162-55

TITLE:
 Existing Site Plan

SCALE: NOTED
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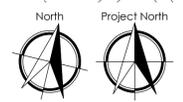
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1 EXISTING FLOOR PLAN
EX-2.0

SCALE: 1/4" = 1'-0"

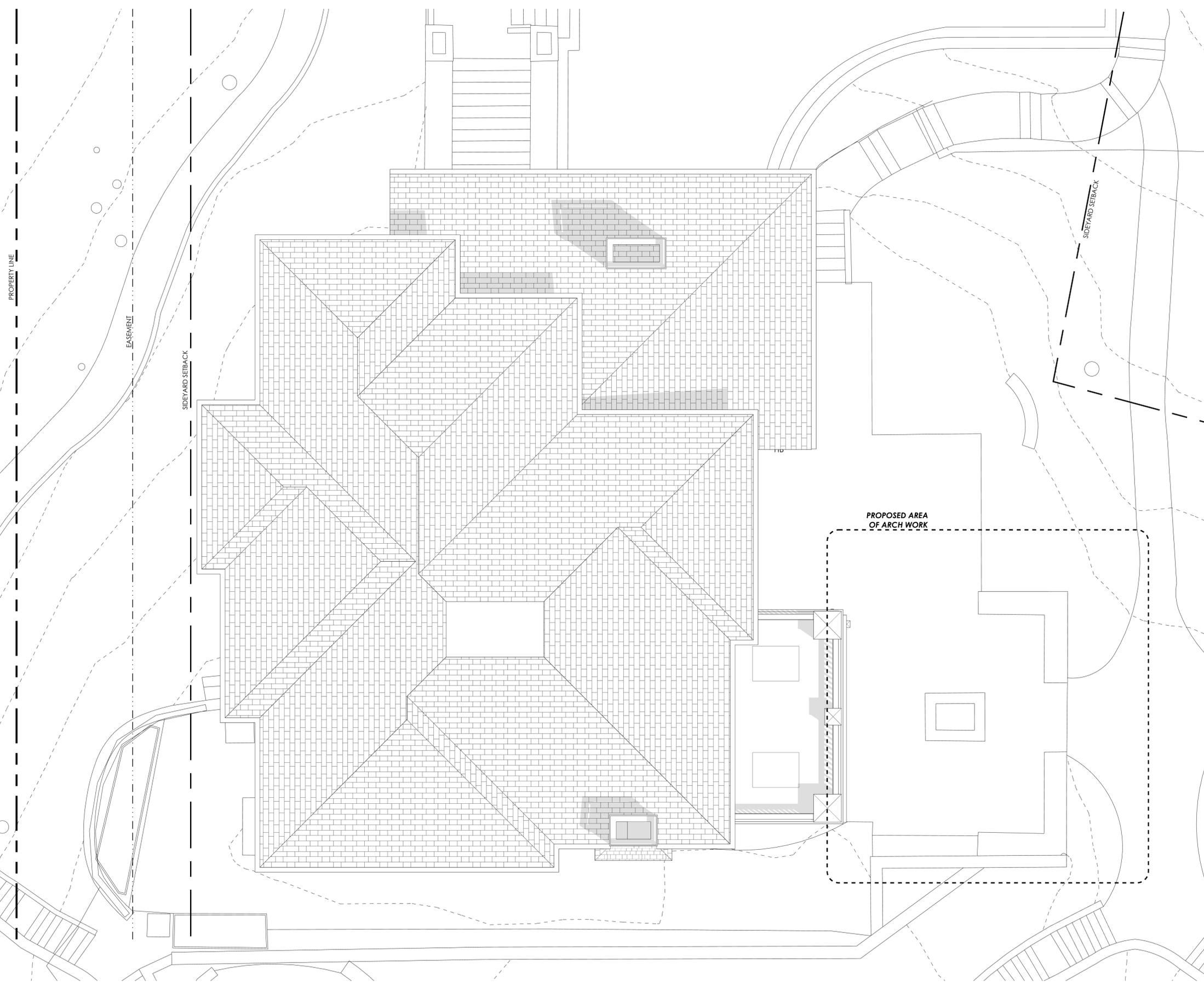


NO.	DATE	REVISIONS
1	01/09/26	PLANNING REVISION

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Existing Floor Plan

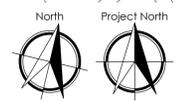
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1 EXISTING ROOF PLAN
EX-2.1

SCALE: 1/4" = 1'-0"



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Oakland, CA 94611
PHONE: 650-691-8345
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**HOMES RESIDENCE SHADE
STRUCTURE ADDITION**
4 Old Landing Rd.
Tiburon, CA, 94920
APN: 038-162-55

TITLE:
Existing Roof Plan

SCALE: NOTED
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EX-2.1

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1 EXISTING SOUTH ELEVATION SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION SCALE: 1/4" = 1'-0"

HOMES RESIDENCE SHADE
STRUCTURE ADDITION
4 Old Landing Rd.
Tiburon, CA, 94920
APN: 038-162-55

TITLE:
Existing Elevations

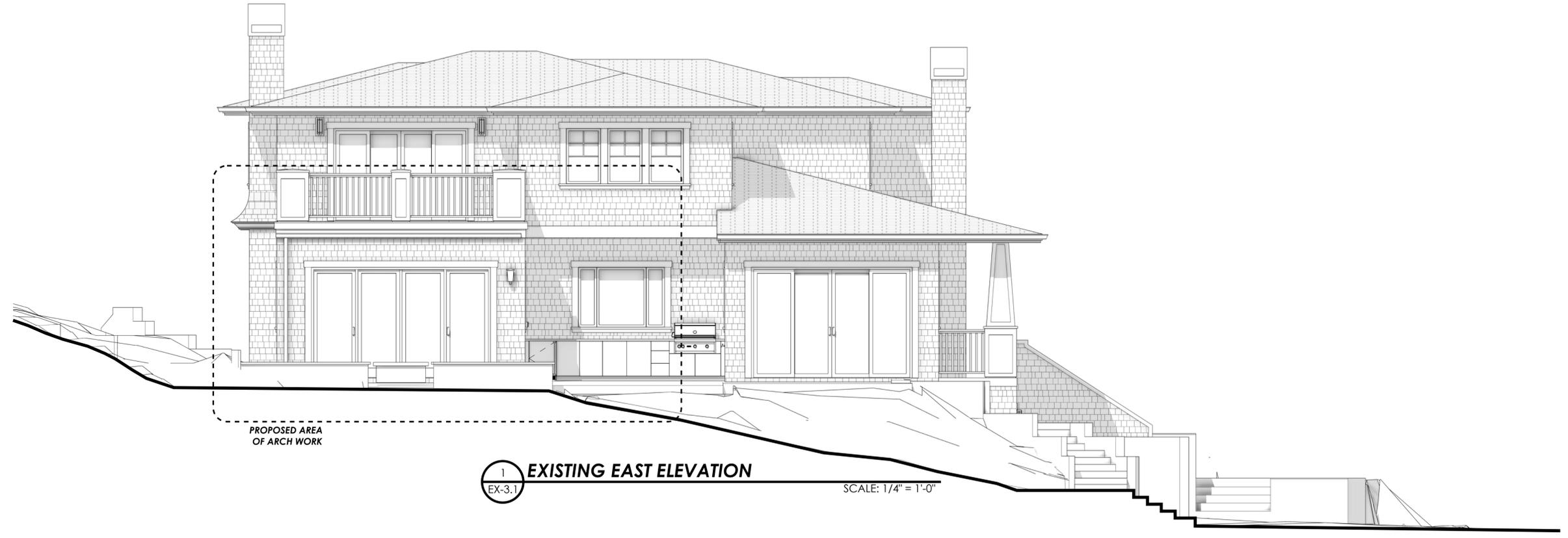
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EX-3.0

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REVISIONS	
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1 EXISTING EAST ELEVATION
EX-3.1

SCALE: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION
EX-3.1

SCALE: 1/4" = 1'-0"

HOMES RESIDENCE SHADE
STRUCTURE ADDITION
4 Old Landing Rd.
Tiburon, CA, 94920
APN: 038-162-55

TITLE:
Existing Elevations

SCALE:	NOTED
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CHECKED BY:	CAP
DATE:	Aug 5th, 2025

EX-3.1

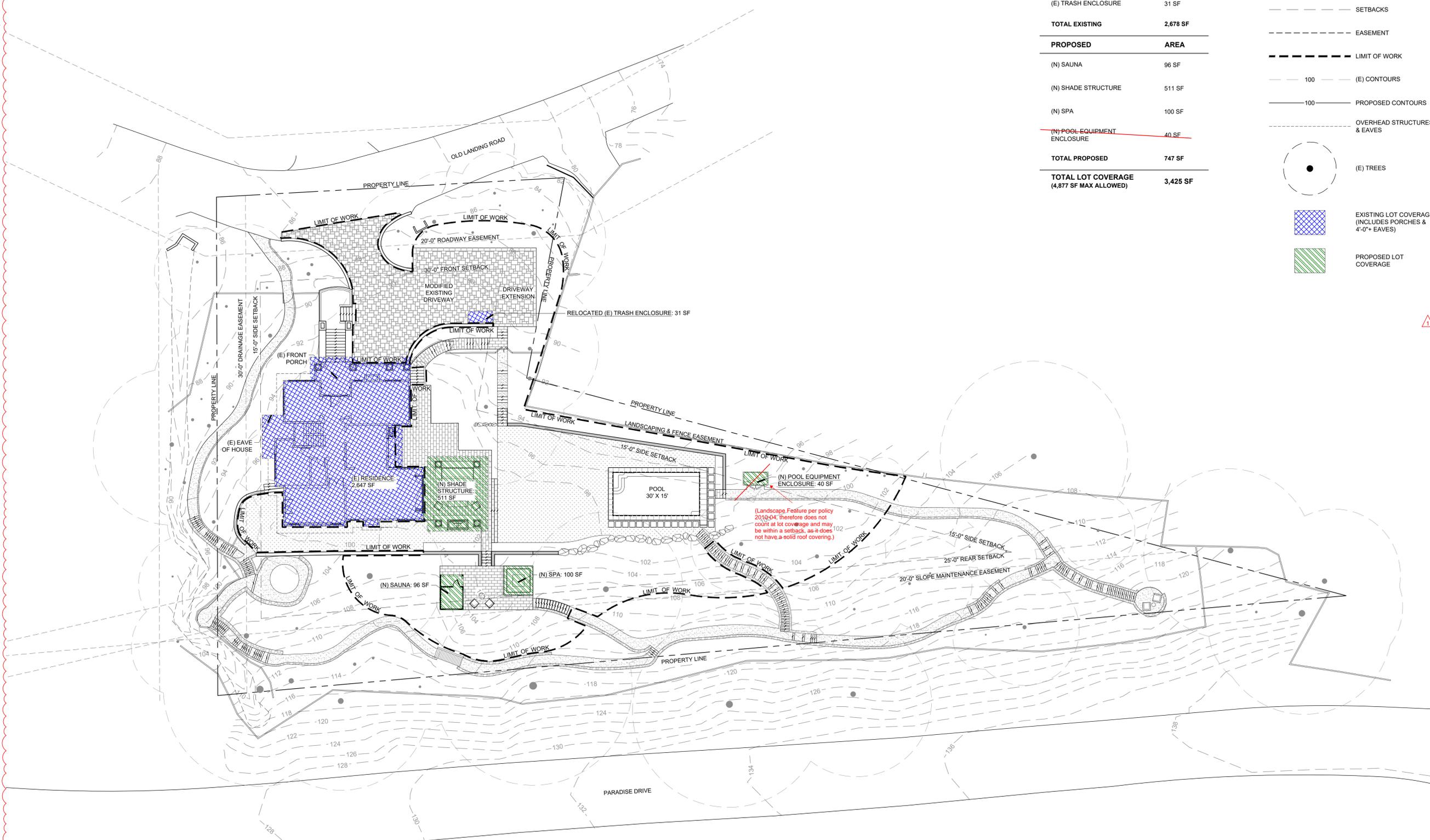
The limit of professional liability for this project shall be limited to an amount equal to the fee paid or all work performed by Terra Ferma Landscapes, Inc.

LOT COVERAGE CALCULATIONS

EXISTING	AREA
(E) HOUSE INCLUDING PORCH & EAVES MORE THAN 4'-0"	2,647 SF
(E) TRASH ENCLOSURE	31 SF
TOTAL EXISTING	2,678 SF
PROPOSED	AREA
(N) SAUNA	96 SF
(N) SHADE STRUCTURE	511 SF
(N) SPA	100 SF
(N) POOL EQUIPMENT ENCLOSURE	40 SF
TOTAL PROPOSED	747 SF
TOTAL LOT COVERAGE (4,877 SF MAX ALLOWED)	3,425 SF

LOT COVERAGE LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACKS
---	EASEMENT
---	LIMIT OF WORK
100	(E) CONTOURS
100	PROPOSED CONTOURS
---	OVERHEAD STRUCTURES & EAVES
●	(E) TREES
▨	EXISTING LOT COVERAGE (INCLUDES PORCHES & 4'-0"+ EAVES)
▨	PROPOSED LOT COVERAGE



TERRA FERMA LANDSCAPES DESIGN
 Landscape Architecture
 Landscape Construction
 Fine Gardening
 139 Mitchell Avenue,
 Suite 220
 So. San Francisco, CA 94080
 p: 650.952.5659
 f: 650.952.0667
 e: info@tferma.com

PERMITTING & APPROVALS SET

HOMES RESIDENCE
 4 OLD LANDING ROAD
 TIBURON, CA 94920
 APN: 038-162-55



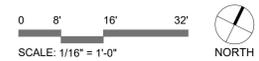
REVISIONS:

#	DATE	ISSUED FOR
1	1/9/2026	PLANNING REVS.

DATE: 8/5/2025
 DRAWN BY: KK, KH
 CHECKED BY: EB, BK
 SCALE: 1/16" = 1'-0"
 PROJECT #: 2415

TITLE
LOT COVERAGE DIAGRAM

SHEET NO.
L2.0



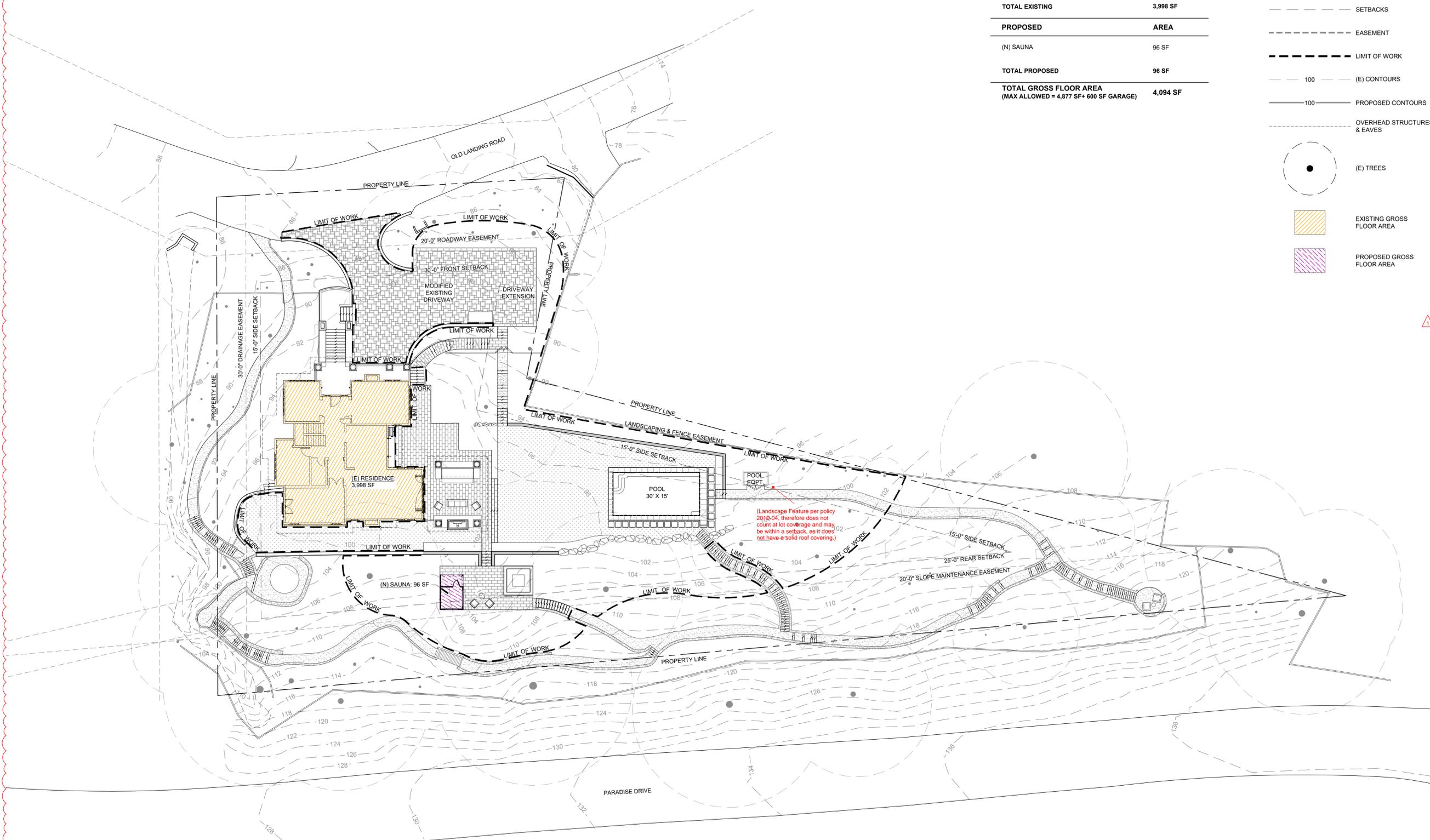
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GROSS FLOOR AREA CALCULATIONS

EXISTING	AREA
(E) HOUSE	3,998 SF
TOTAL EXISTING	3,998 SF
PROPOSED	AREA
(N) SAUNA	96 SF
TOTAL PROPOSED	96 SF
TOTAL GROSS FLOOR AREA (MAX ALLOWED = 4,877 SF + 600 SF GARAGE)	4,094 SF

GROSS FLOOR AREA LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACKS
---	EASEMENT
---	LIMIT OF WORK
---	100 (E) CONTOURS
---	100 PROPOSED CONTOURS
---	OVERHEAD STRUCTURES & EAVES
●	(E) TREES
▨	EXISTING GROSS FLOOR AREA
▨	PROPOSED GROSS FLOOR AREA



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PERMITTING & APPROVALS SET

HOMES RESIDENCE
 4 OLD LANDING ROAD
 TIBURON, CA 94920



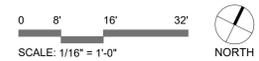
REVISIONS:

#	DATE	ISSUED FOR
1	1/9/2026	PLANNING REVS.

DATE: 8/5/2025
 DRAWN BY: KK, KH
 CHECKED BY: EB, BK
 SCALE: 1/16" = 1'-0"
 PROJECT #: 2415

TITLE
GROSS FLOOR AREA DIAGRAM

SHEET NO.
L2.1



APN: 038-162-55

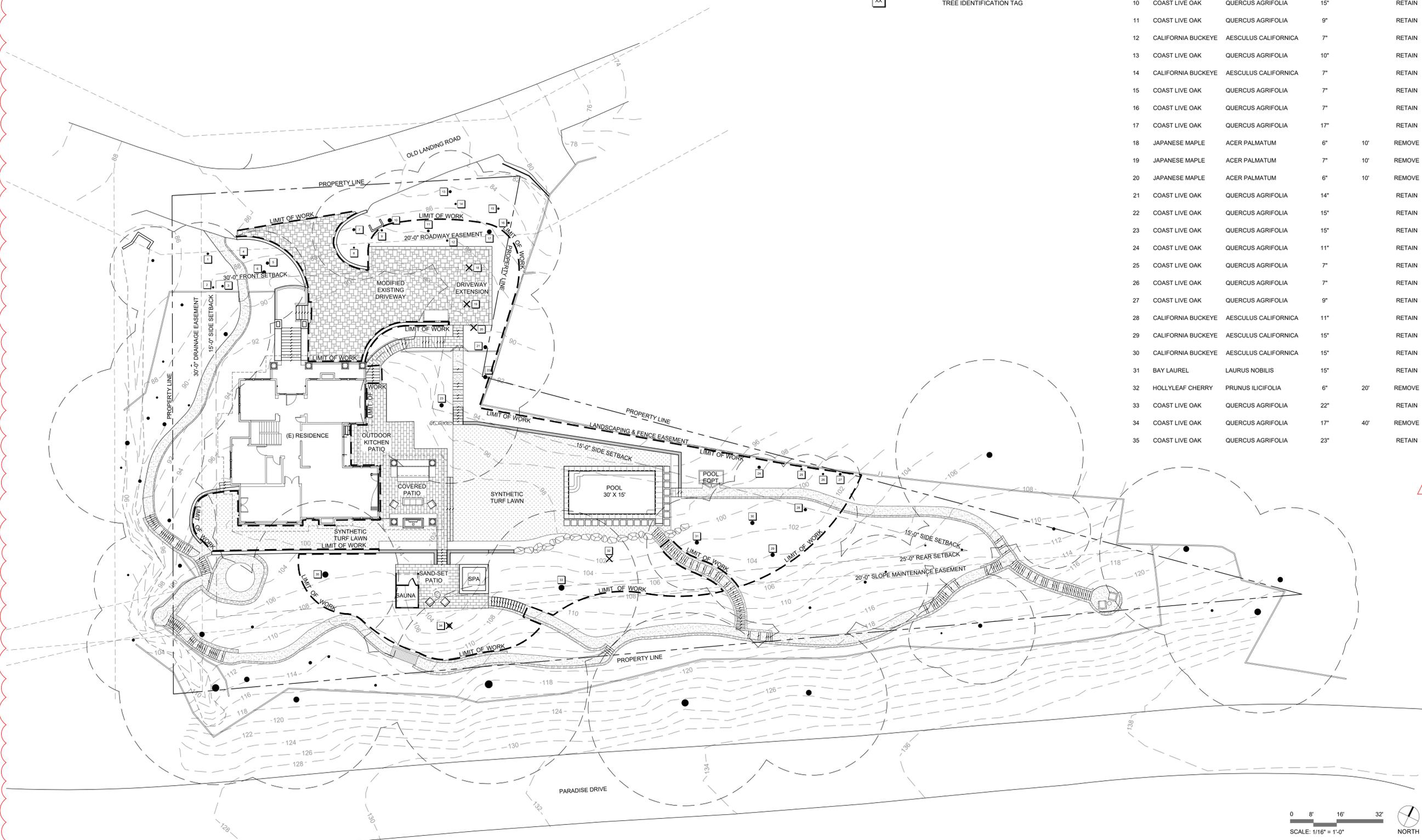
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TREE INVENTORY LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	LIMIT OF WORK
100	(E) CONTOURS
●	(E) TREE
×	TREE TO BE REMOVED
xx	TREE IDENTIFICATION TAG

EXISTING TREES

TREE #	COMMON NAME	SCIENTIFIC NAME	TRUNK DIAMETER	HEIGHT	REMOVE / RETAIN
1	COAST LIVE OAK	QUERCUS AGRIFOLIA	8"		RETAIN
2	COAST LIVE OAK	QUERCUS AGRIFOLIA	7"		RETAIN
3	PLUM	PRUNUS SPP.	8"		RETAIN
4	COAST LIVE OAK	QUERCUS AGRIFOLIA	9"		RETAIN
5	COAST LIVE OAK	QUERCUS AGRIFOLIA	11"		RETAIN
6	COAST LIVE OAK	QUERCUS AGRIFOLIA	14"		RETAIN
7	COAST LIVE OAK	QUERCUS AGRIFOLIA	10"		RETAIN
8	COAST LIVE OAK	QUERCUS AGRIFOLIA	6"		RETAIN
9	BAY LAUREL	LAURUS NOBILIS	7"		RETAIN
10	COAST LIVE OAK	QUERCUS AGRIFOLIA	15"		RETAIN
11	COAST LIVE OAK	QUERCUS AGRIFOLIA	9"		RETAIN
12	CALIFORNIA BUCKEYE	AESCLUS CALIFORNICA	7"		RETAIN
13	COAST LIVE OAK	QUERCUS AGRIFOLIA	10"		RETAIN
14	CALIFORNIA BUCKEYE	AESCLUS CALIFORNICA	7"		RETAIN
15	COAST LIVE OAK	QUERCUS AGRIFOLIA	7"		RETAIN
16	COAST LIVE OAK	QUERCUS AGRIFOLIA	7"		RETAIN
17	COAST LIVE OAK	QUERCUS AGRIFOLIA	17"		RETAIN
18	JAPANESE MAPLE	ACER PALMATUM	6"	10'	REMOVE
19	JAPANESE MAPLE	ACER PALMATUM	7"	10'	REMOVE
20	JAPANESE MAPLE	ACER PALMATUM	6"	10'	REMOVE
21	COAST LIVE OAK	QUERCUS AGRIFOLIA	14"		RETAIN
22	COAST LIVE OAK	QUERCUS AGRIFOLIA	15"		RETAIN
23	COAST LIVE OAK	QUERCUS AGRIFOLIA	15"		RETAIN
24	COAST LIVE OAK	QUERCUS AGRIFOLIA	11"		RETAIN
25	COAST LIVE OAK	QUERCUS AGRIFOLIA	7"		RETAIN
26	COAST LIVE OAK	QUERCUS AGRIFOLIA	7"		RETAIN
27	COAST LIVE OAK	QUERCUS AGRIFOLIA	9"		RETAIN
28	CALIFORNIA BUCKEYE	AESCLUS CALIFORNICA	11"		RETAIN
29	CALIFORNIA BUCKEYE	AESCLUS CALIFORNICA	15"		RETAIN
30	CALIFORNIA BUCKEYE	AESCLUS CALIFORNICA	15"		RETAIN
31	BAY LAUREL	LAURUS NOBILIS	15"		RETAIN
32	HOLLYLEAF CHERRY	PRUNUS ILICIFOLIA	6"	20'	REMOVE
33	COAST LIVE OAK	QUERCUS AGRIFOLIA	22"		RETAIN
34	COAST LIVE OAK	QUERCUS AGRIFOLIA	17"	40'	REMOVE
35	COAST LIVE OAK	QUERCUS AGRIFOLIA	23"		RETAIN



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PERMITTING & APPROVALS SET

HOMES RESIDENCE

4 OLD LANDING ROAD
 TIBURON, CA 94920

APN: 038-162-55



REVISIONS:

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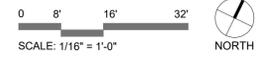
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 DRAWN BY: KK, KH
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 SCALE: 1/16" = 1'-0"
 PROJECT #: 2415

TITLE

TREE INVENTORY PLAN

SHEET NO.

L2.2



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MATERIALS PLAN LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACKS
- - - - -	EASEMENT
---	LIMIT OF WORK
---	100 (E) CONTOURS
---	100 PROPOSED CONTOURS
---	CENTER LINE
---	OVERHEAD STRUCTURES & EAVES
●	(E) TREES
○ X#	MATERIAL REFERENCE NUMBER

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APN: 038-162-55



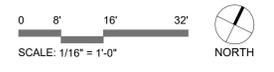
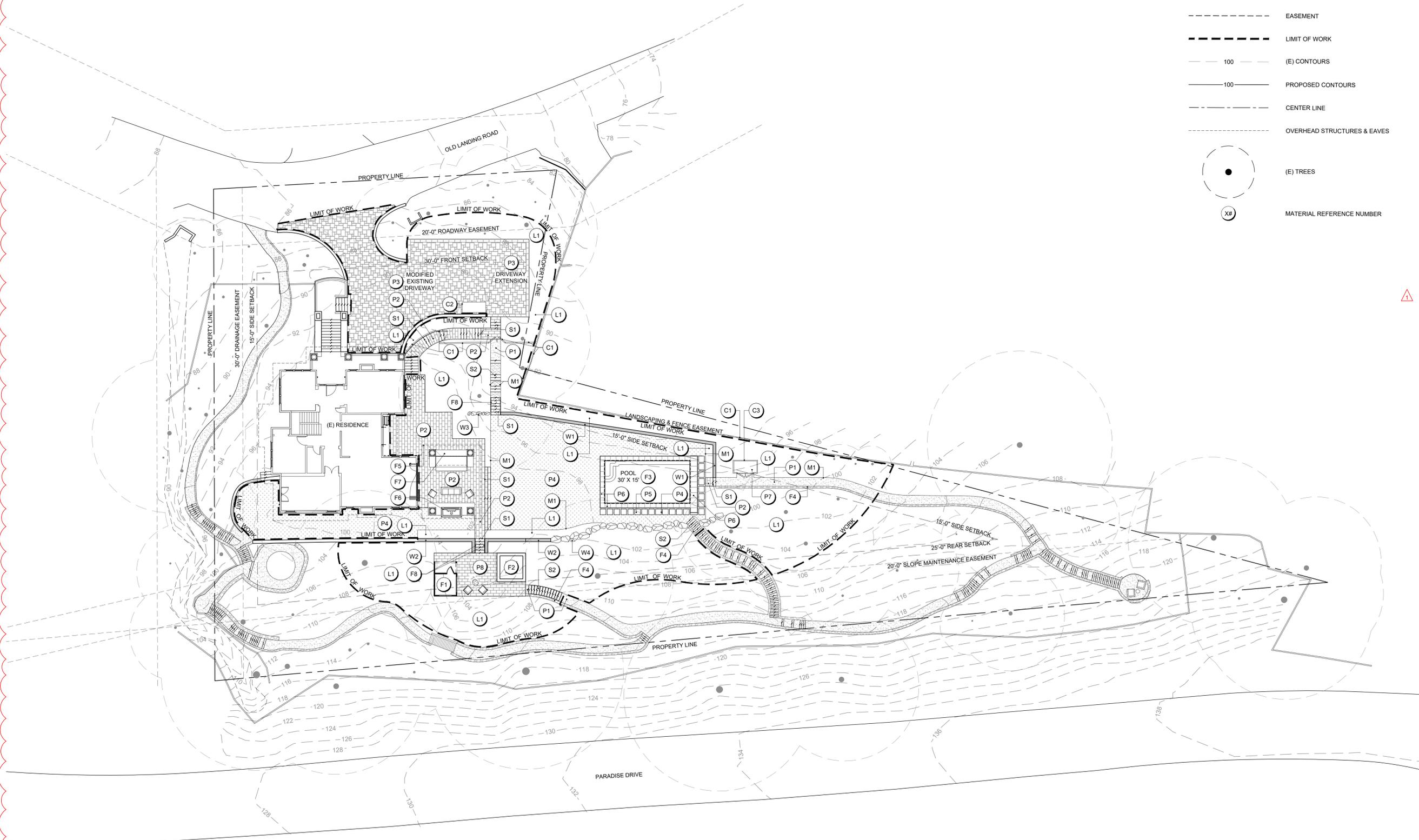
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TITLE
MATERIALS PLAN

SHEET NO.
L4.0



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LIGHTING SCHEDULE

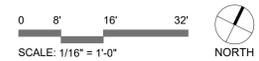
SYMBOL	QTY.	TYPE	DESCRIPTION	FINISH	DETAIL
⊕ PL	30	PATH LIGHT	PLLEDTA - BZ + A - ZD - 3LED - 18RA - BZ	BRONZE METALLIC	1/L2.1
▼ UL	7	UP LIGHT	NP - ZD - 3LED - BZ	BRONZE METALLIC	2/L2.1
△ SL	7	STEP LIGHT	LF - ZD - 1LED - W - BZ	BRONZE METALLIC	3/L2.1
⊙ GL	7	GROUND LIGHT	FC - ZD - 3LED - GW180 - BZ	BRONZE METALLIC	1/L2.2
⊠ TF	2	TRANSFORMER	LUX - 300 - SS	STAINLESS STEEL	2/L2.2

LIGHTING PLAN LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACKS
---	EASEMENT
---	LIMIT OF WORK
--- 100 ---	(E) CONTOURS
--- 100 ---	PROPOSED CONTOURS
---	CENTER LINE
---	OVERHEAD STRUCTURES & EAVES
●	(E) TREES

UTILITIES AND LIGHTING NOTES

- UTILITIES**
 1. WHEREVER POSSIBLE, AND IN KEEPING WITH SAFETY REQUIREMENTS AND CODES, COMBINE ALL UTILITIES, LIGHTING, AND IRRIGATION IN COMMON TRENCHES PER CITY STANDARDS AND CODES.
- LIGHTING**
 2. ELECTRICAL LINE VOLTAGE AND LAYOUT ARE DIAGRAMMATIC.
 3. LOCATION OF LANDSCAPE LIGHT FIXTURES ON PLAN ARE DIAGRAMMATIC FOR LEGIBILITY. ACTUAL LOCATIONS SHALL BE VERIFIED IN FIELD WITH LANDSCAPE ARCHITECT.
 4. ELECTRICAL SUBCONTRACTOR SHALL COORDINATE AND VERIFY ALL POOL EQUIPMENT REQUIREMENTS WITH POOL CONTRACTOR. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, ADJUSTMENTS, OR CHANGES. CONTRACTOR SHALL VERIFY THAT BONDING OF POOL, SPA, AND WATER FEATURES IS CARRIED OUT PER CODE.
 5. CONTRACTOR TO VERIFY THAT BONDING OF POOL, SPA, AND WATER FEATURES IS CARRIED OUT PER CODE.
 6. CONTRACTOR SHALL INSTALL ALL FIXTURES PER MANUFACTURER'S SPECIFICATIONS.
 7. COORDINATE ALL SWITCHING AND TRANSFORMER LOCATIONS WITH LANDSCAPE ARCHITECT, OWNER, AND LIGHTING DESIGNER (IF APPLICABLE) PRIOR TO INSTALLATION. ALL SWITCHING AND TRANSFORMER LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 8. ONLY SPECIFIED LIGHT FIXTURE FINISHES WILL BE ACCEPTED. ANY SUBSTITUTIONS OR MODIFICATIONS TO SELECTED FINISHES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
 9. CONTRACTOR SHALL FIELD STAKE AND MARK, PRECISE LOCATION OF ALL LIGHT FIXTURES AND VERIFY WITH LANDSCAPE ARCHITECT PRIOR TO WIRING AND INSTALLATION. ADJUSTABLE FIXTURES SHALL BE DIRECTED IN THE FIELD BY LANDSCAPE ARCHITECT.
 10. ALL LOW-VOLTAGE CIRCUITS SHALL BE WIRED TO UTILIZE THE APPROPRIATE TRANSFORMER LOADS AND SHALL NOT EXCEED 80% OF RATED MAXIMUM LOAD. ALL CIRCUITS SHALL BE WIRED TO MINIMIZE VOLTAGE DROP AT THE END OF THE LINE. ALL "MR" TYPE BULBS ARE TO BE 10,000 HOUR EXTEND LIFE RATED.
 11. CONTRACTOR SHALL PROVIDE THE OWNER WITH TWO SETS OF REPLACEMENT LAMPS FOR EACH NON-LED FIXTURE TYPE.
 12. CONTRACTOR TO REVIEW SITE CONDITIONS AND UTILITIES AND PROPOSE SOURCE OF LINE VOLTAGE ELECTRICITY FOR LIGHTING TRANSFORMERS AND GROUND-FAULT CIRCUIT INTERRUPTER OUTLETS. ALL GFCI EXTERIOR OUTLETS TO HAVE BUBBLE COVERS.
 13. THIS DRAWING PROVIDES INFORMATION ON LOCATION OF SITE FIXTURES ONLY. ALL ADDITIONAL EQUIPMENT, TRANSFORMERS, VAULTS, CONDUIT, SLEEVING, WIRING, JUNCTION BOXES, PANEL BOARDS, BREAKERS AND SCHEDULES TO BE PROVIDED & INSTALLED BY CONTRACTOR AS NEEDED. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL CIRCUITRY AND LOAD CALCULATIONS.
 14. TRANSFORMERS ADJACENT TO BUILDING OR SITE WALLS SHALL BE MOUNTED A MINIMUM OF 12" ABOVE GRADE. ALL TRANSFORMERS LOCATED IN PLANTING AREAS SHALL BE MOUNTED 12" ABOVE GRADE ON CON HEART REDWOOD 4X4 POST WITH CONCRETE FOOTING.
 15. ALL EXTERIOR LIGHTING SHALL BE SHIELDED DOWN LIGHTING TO MEET TOWN CODE SECTION 16-30.070.
- GAS PLUMBING**
 16. ALL GAS PLUMBING TO BE INSTALLED PER CODE REQUIREMENTS
 17. ALL GAS PLUMBING TO BE PRESSURE TESTED FOR LEAKS INCLUDING PRIOR TO ANY CONCRETE POUR WHERE GAS LINE IS BURIED BELOW OR THROUGH CONCRETE.
 18. ALL GAS LINES TO BE WRAPPED AND TAPED PER BUILDING CODES.



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REVISIONS:

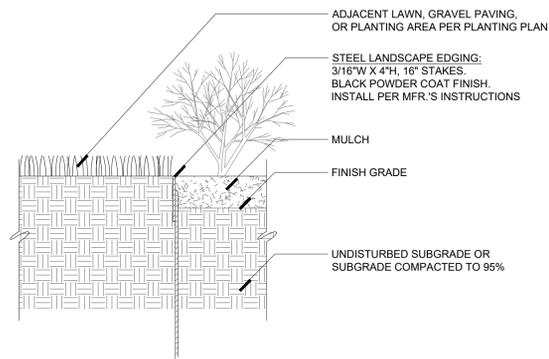
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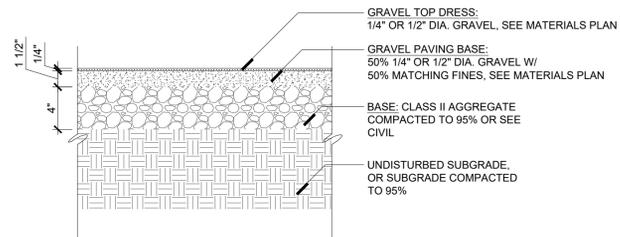
TITLE
LIGHTING PLAN

SHEET NO.
L5.0

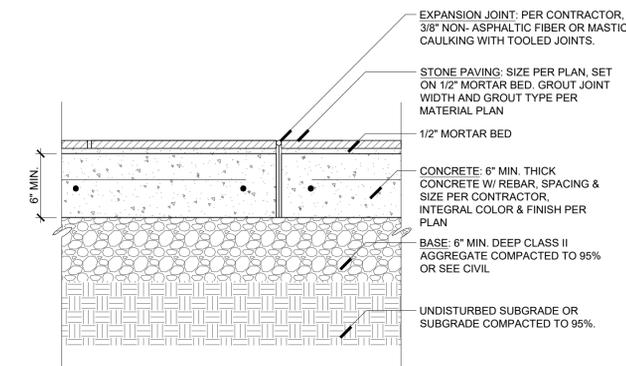
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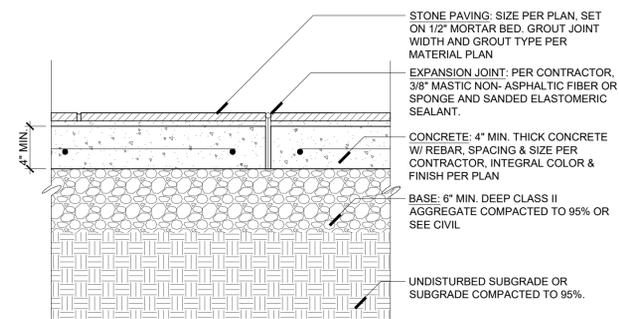
10 EDGE - STEEL
SECTION
1 1/2" = 1'-0"
PROJ-2415-02



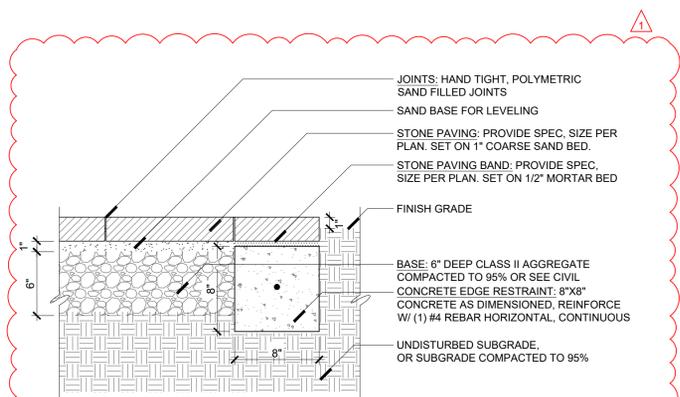
7 PAVE - GRAVEL PEDESTRIAN
SECTION
1-1/2" = 1'-0"
PROJ-2415-17



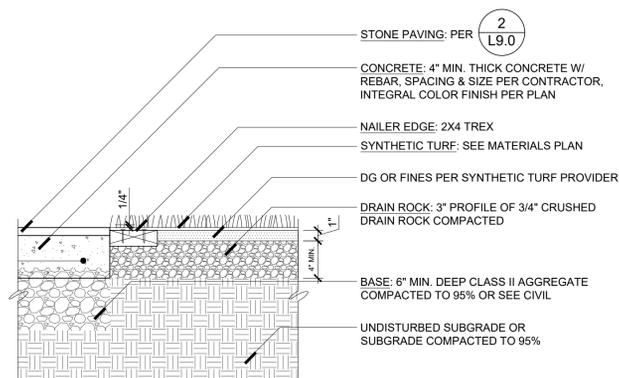
4 PAVE - STONE VEHICULAR W/ CONC. BASE
SECTION
1 1/2" = 1'-0"
PROJ-2415-25



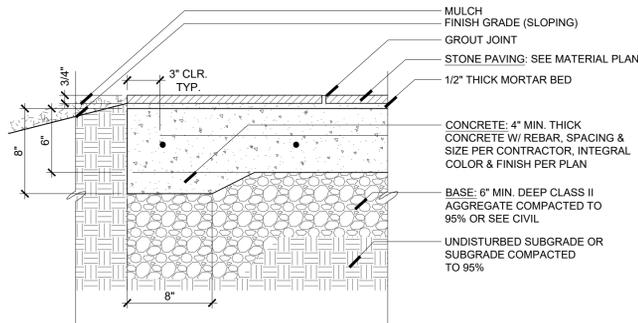
1 PAVE - STONE PEDESTRIAN W/ CONC. BASE
SECTION
1 1/2" = 1'-0"
PROJ-2415-24



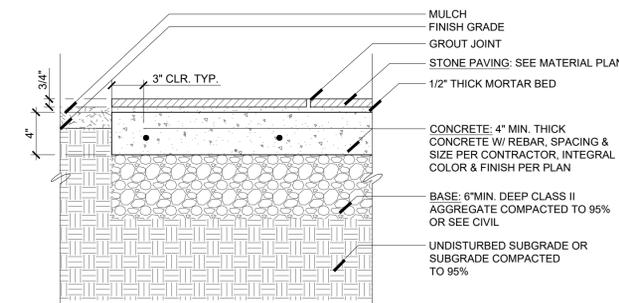
11 PAVE - SAND SET STONE W/ EDGE RESTRAINT
SECTION
1 1/2" = 1'-0"
PROJ-2415-30



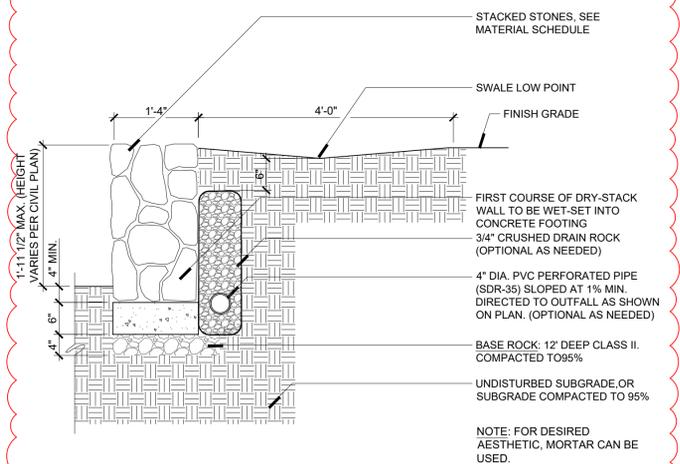
8 PAVE - SYNTHETIC TURF W/ HARDSCAPE EDGE
SECTION
1 1/2" = 1'-0"
PROJ-2415-26



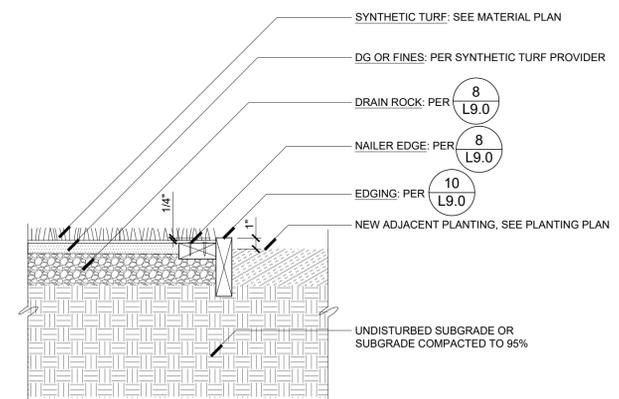
5 PAVE - STONE EDGE VEHICULAR
SECTION
1 1/2" = 1'-0"
PROJ-2415-23



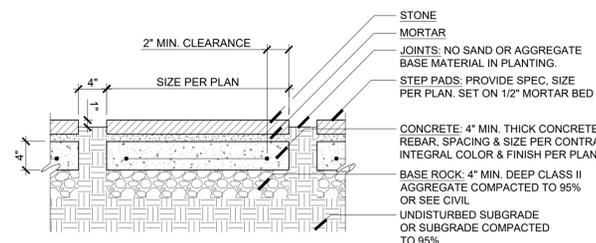
2 PAVE - STONE EDGE PEDESTRIAN
SECTION
1 1/2" = 1'-0"
PROJ-2415-22



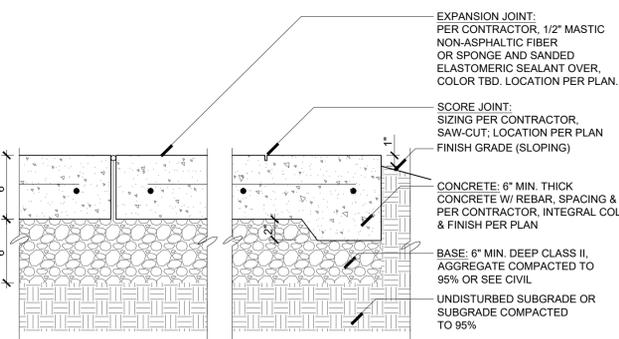
12 WALL - DRYSTACK
SECTION
3/4" = 1'-0"
PROJ-2415-21



9 PAVE - SYNTHETIC TURF W/ SOFTSCAPE EDGE
SECTION
1 1/2" = 1'-0"
PROJ-2415-27



6 PAVE - STEP PADS WITH CONCRETE BASE
SECTION
1 1/2" = 1'-0"
PROJ-2415-19



3 PAVE - CONCRETE WITH THICKENED EDGE
SECTION
1 1/2" = 1'-0"
PROJ-2415-20



REVISIONS:

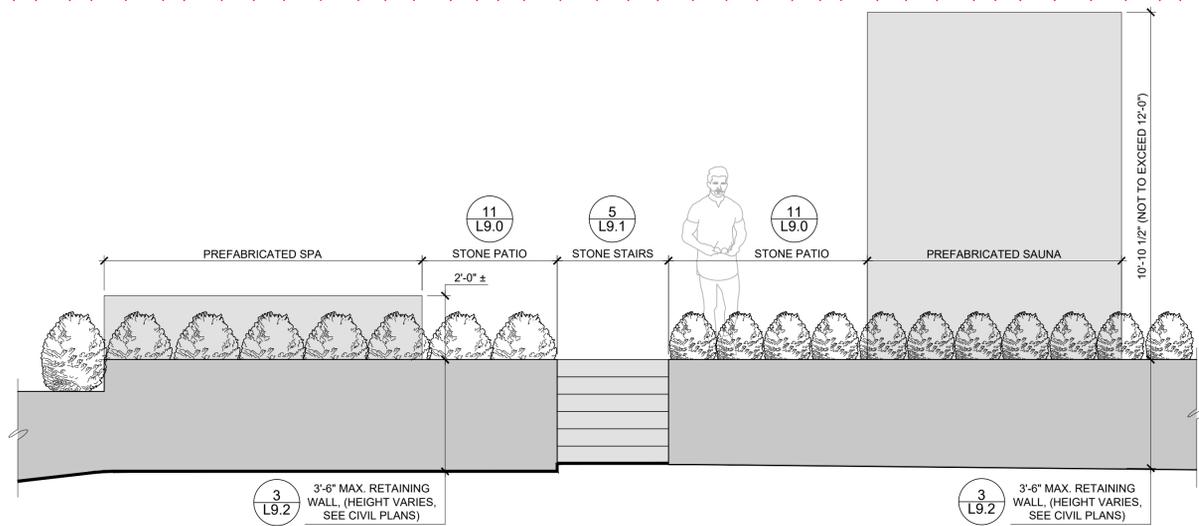
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SCALE: AS NOTED
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TITLE
HARDSCAPE DETAILS

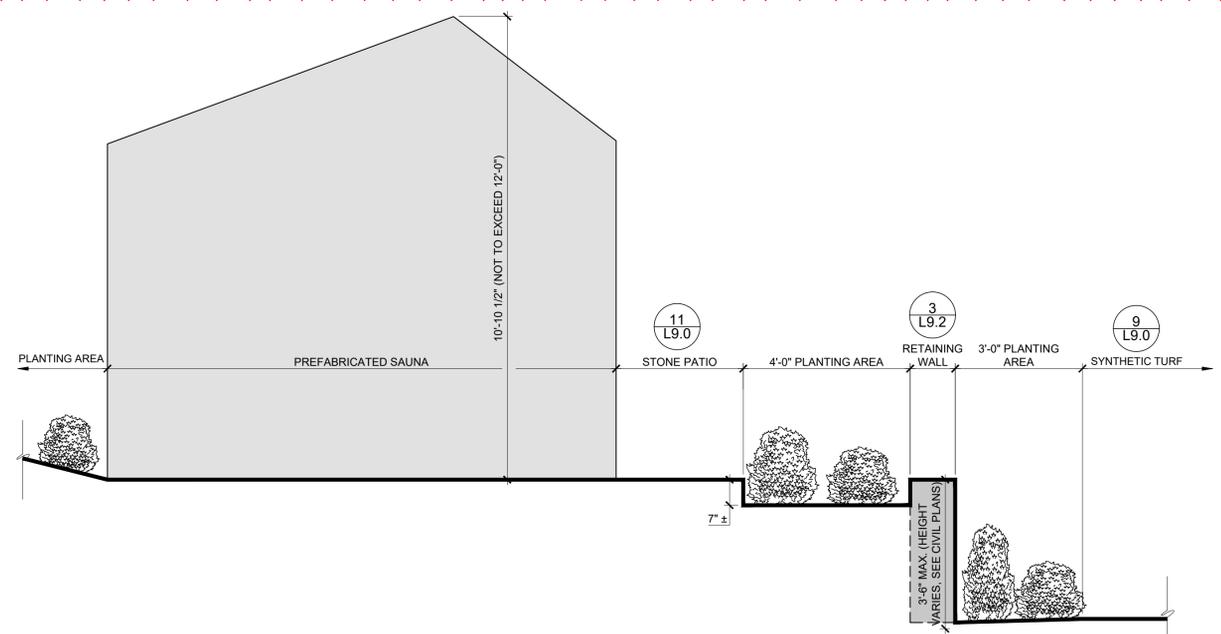
SHEET NO.
L9.0

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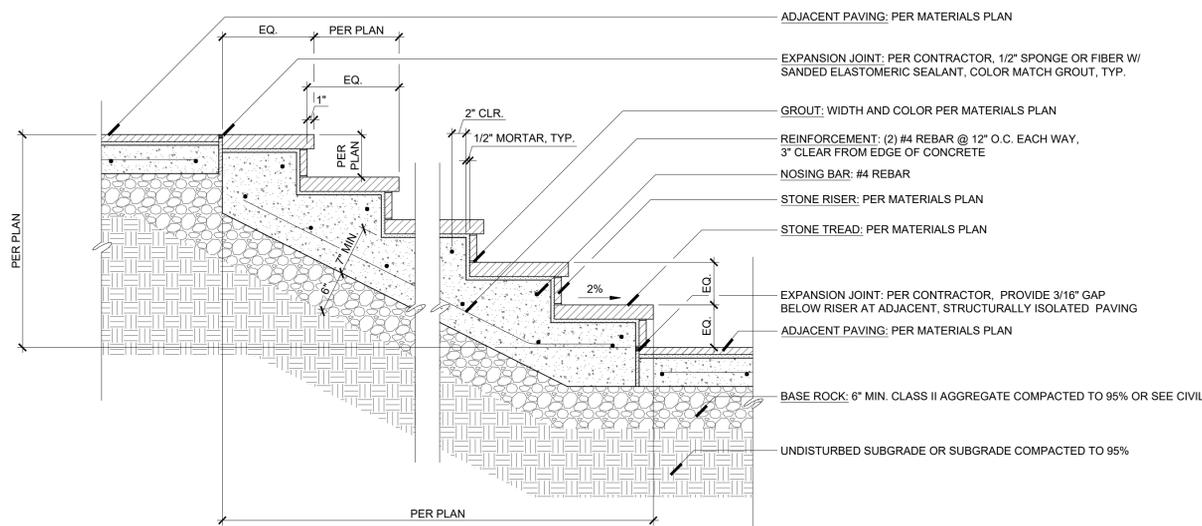
4 FEAT - SPA & SAUNA PATIO
ELEVATION

3/8" = 1'-0"
PROJ-2415-34



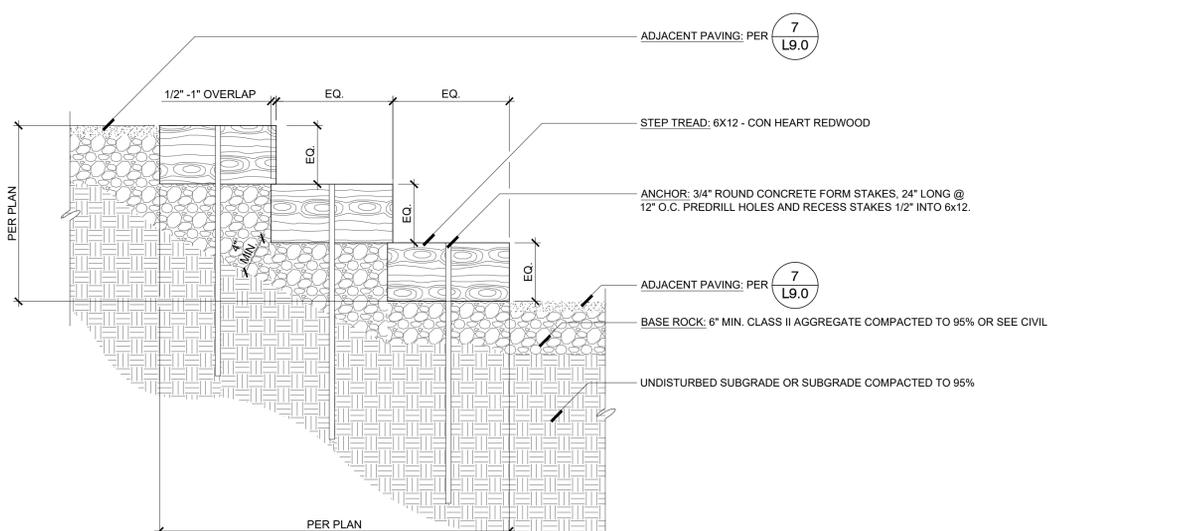
3 FEAT - SAUNA
SECTION

1/2" = 1'-0"
PROJ-2415-31



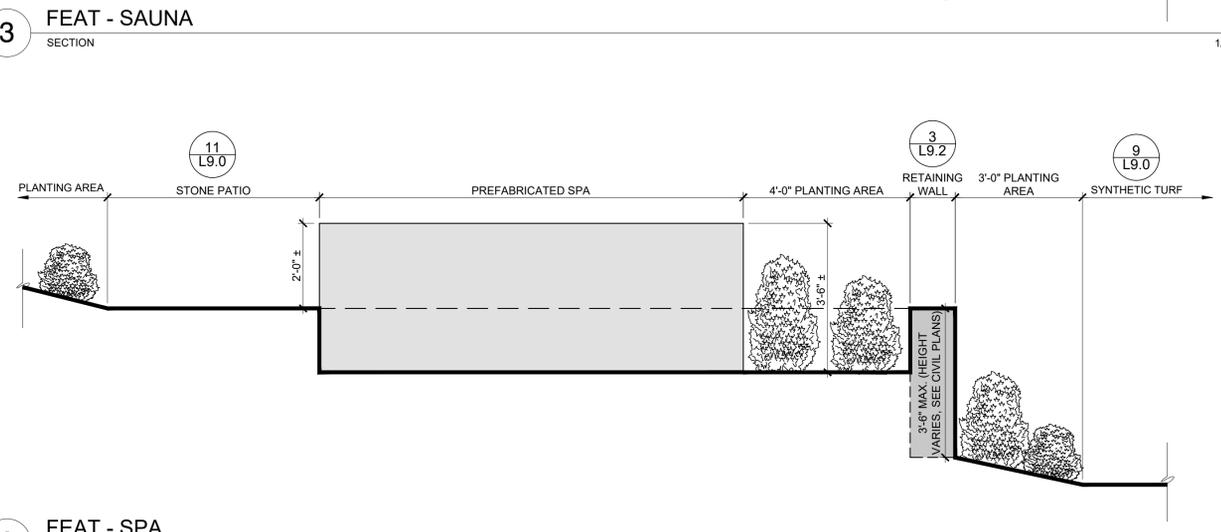
5 STRS - STONE ON CONCRETE BASE
SECTION

1" = 1'-0"
PROJ-2415-11



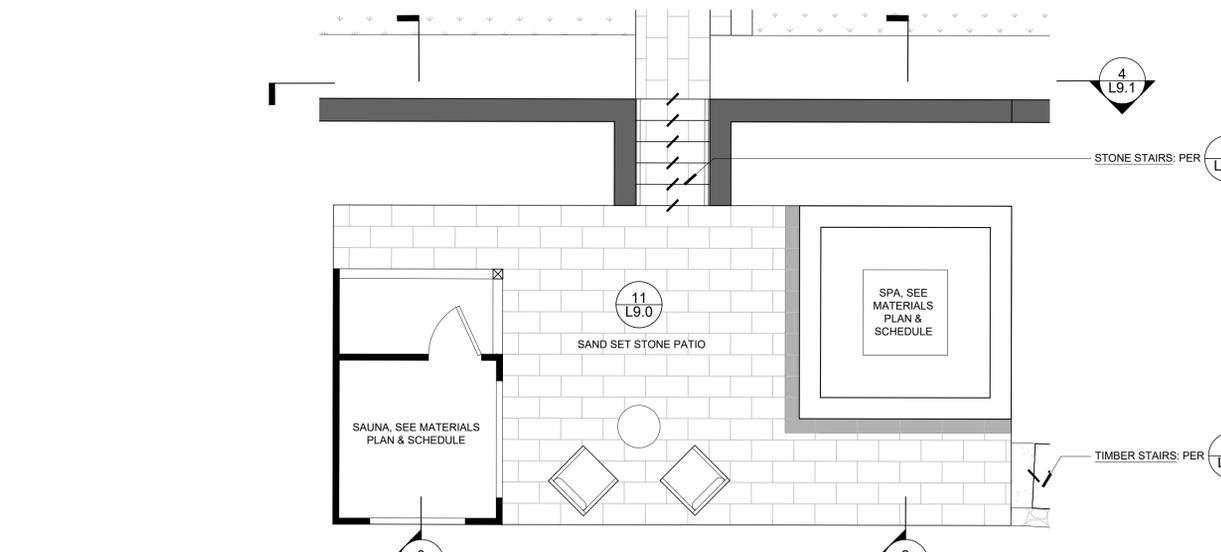
6 STRS - MONOLITHIC TIMBER
SECTION

1 1/2" = 1'-0"
PROJ-2415-07



2 FEAT - SPA
SECTION

1/2" = 1'-0"
PROJ-2415-29



1 FEAT - SPA & SAUNA PATIO
PLAN

1/4" = 1'-0"
PROJ-2415-28



REVISIONS:

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TITLE
HARDSCAPE DETAILS

SHEET NO.
L9.1

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**PERMITTING
& APPROVALS
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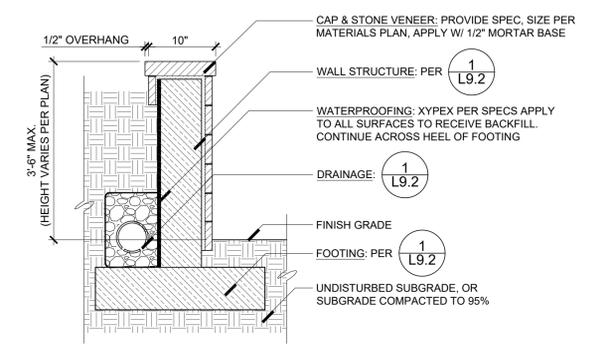
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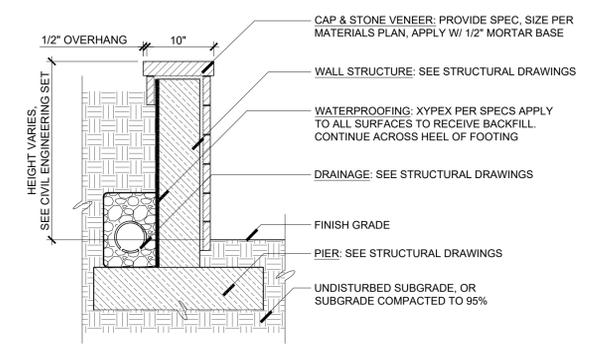
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TITLE
**HARDSCAPE
DETAILS**

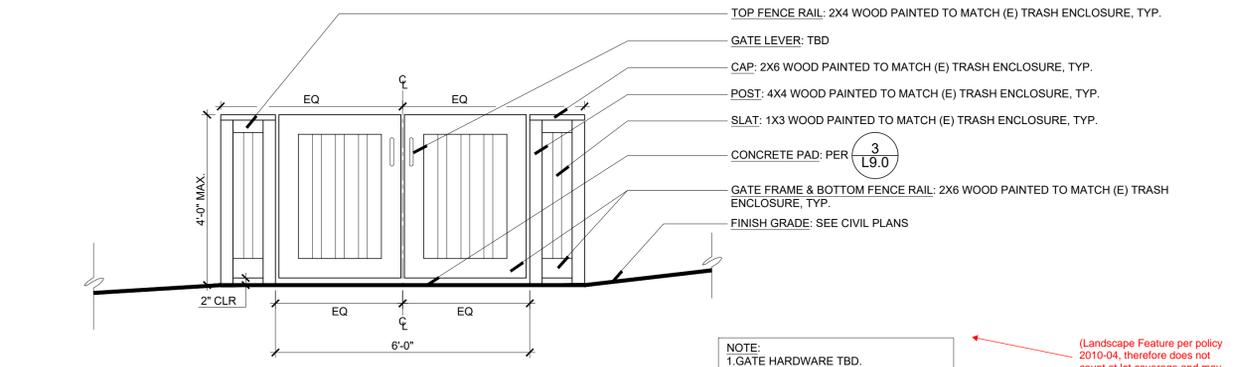
SHEET NO.
L9.2



3 WALL - MARIN TYPE "A" RETAINING WITH VENEER
SECTION
1" = 1'-0"
PRG-2415-33



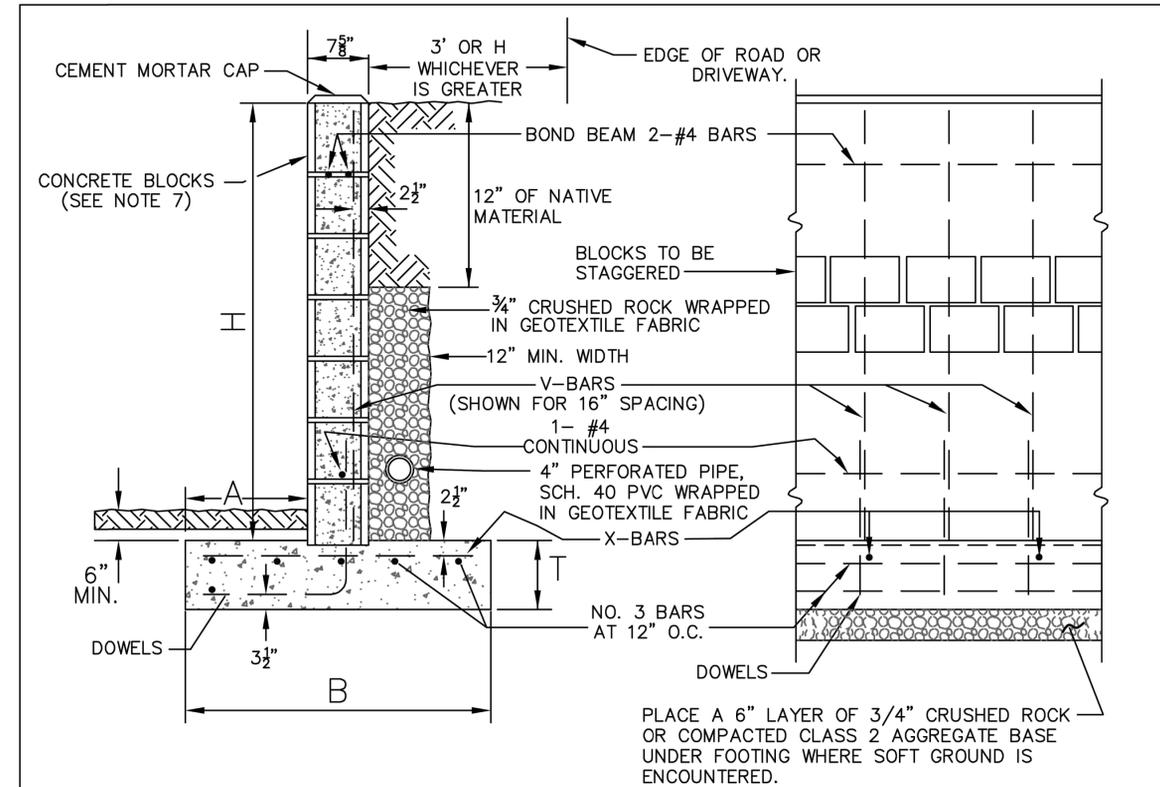
2 WALL - STRUCTURAL RETAINING W/ STONE VENEER
SECTION
1" = 1'-0"
PRG-2415-31



4 FENC - POOL EQUIPMENT ENCLOSURE
ELEVATION
1/2" = 1'-0"
PRG-2415-05



5 STRU - EXISTING TRASH ENCLOSURE
DETAIL-TYPE
1/2" = 1'-0"
PRG-2415-38



CROSS SECTION (NO SCALE) **ELEVATION (NO SCALE)**

H	A	B	T	V-BARS	X-BARS
FT.-IN.	IN.	FT.-IN.	IN.		
3'-4"	8"	2'-4"	9"	NO. 3 AT 32"	NO. 3 AT 24"
4'-0"	10"	2'-9"	9"	NO. 4 AT 32"	NO. 3 AT 24"

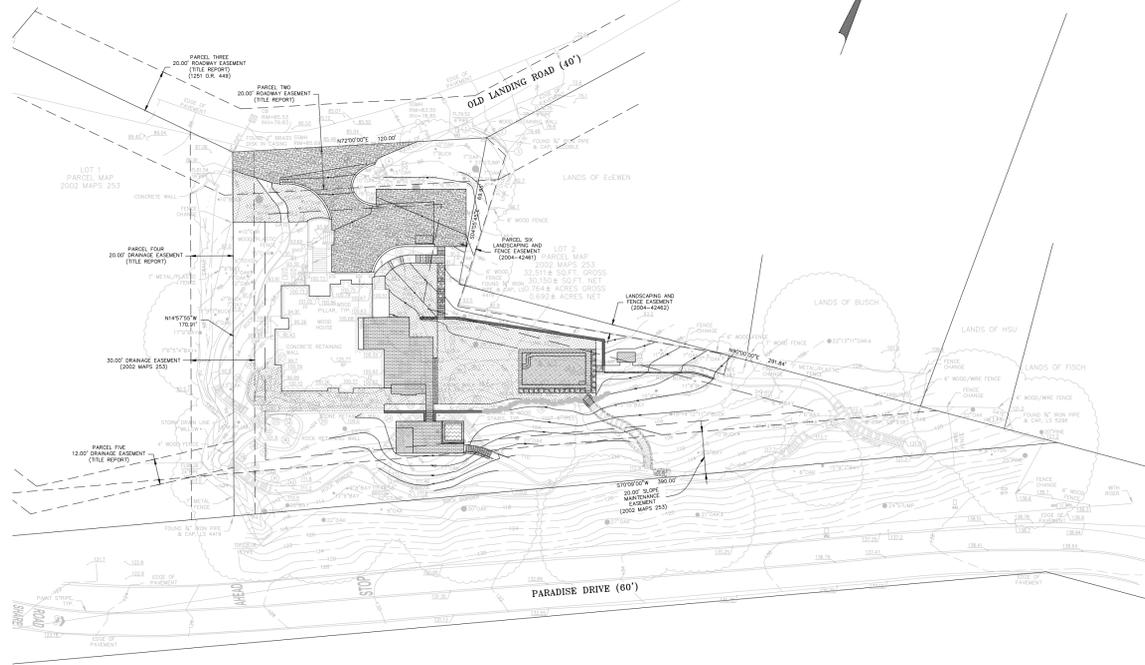
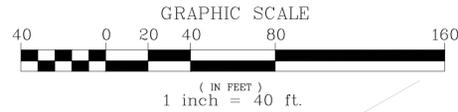
- NOTES:
- CONCRETE FOR FOOTING TO BE CLASS "A" (6 SACK 3000 PSI) WITH 3/4" AGGREGATE AND 4 INCH MAX. SLUMP.
 - FILL ALL CELLS WITH 7 SACK CONCRETE WITH 3/8" AGGREGATE OR 3:1 MORTAR.
 - DOWELS SHALL BE SAME IN SIZE AND SPACING AS V-BARS. THEY SHALL PROJECT 40 BAR DIAMETERS, 24 INCH MIN. INTO THE CELLS AND EXTEND TO THE TOE OF FOOTING. LAPPING BARS SHALL BE TIED.
 - WALLS SHALL NOT BE BACKFILLED UNTIL 7 DAYS AFTER CELLS ARE FILLED.
 - WALLS OVER 100' LONG SHALL HAVE VERTICAL EXPANSION JOINTS. WALLS OVER 50' LONG SHALL HAVE VERTICAL CONTRACTION JOINTS. SEE AGENCY ENGINEER FOR DETAILS.
 - NO CONCRETE SHALL BE PLACED UNTIL FORMS AND STEEL HAVE BEEN INSPECTED AND APPROVED BY THE AGENCY ENGINEER.
 - BLOCKS SHALL BE GRADE N OR BETTER (f'c=1,500 PSI).
 - NO FRONT FACE WEEP HOLES ALLOWED IF SIDEWALK OR PAVEMENT SLOPES AWAY FROM WALL.
 - SUBJECT TO THE APPROVAL OF AGENCY ENGINEER, DESIGN FOR DRAINAGE CONVEYANCE BEHIND WALL MAY BE MODIFIED TO UTILIZE PREFABRICATED DRAINAGE DEVICES.

UNIFORM STANDARDS ALL CITIES AND COUNTY OF MARIN	RETAINING WALL TYPE "A" LEVEL BACKFILL			MAY 2008
	REV.	DATE	BY	DWG. NO. 150

1 WALL - MARIN COUNTY STANDARD TYPE "A" RETAINING WALL
SECTION & ELEVATION
1/2" = 1'-0"
PRG-2415-39

NOT TO SCALE
PRG-2415-39

HOMES RESIDENCE 4 OLD LANDING ROAD, TIBURON, CA 94920



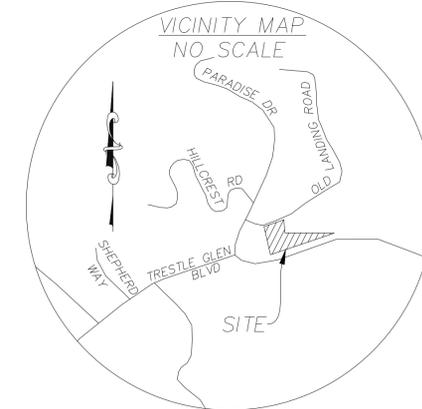
PROJECT DESIGN TEAM

OWNER: HENRY HOMES
4 OLD LANDING ROAD
TIBURON, CA 94920

LANDSCAPE: TERRA FERMA LANDSCAPE DESIGN
139 MITCHELL AVENUE,
SUITE 220 SO. SAN FRANCISCO, CA 94080
INFO@TFLANDSCAPES.COM
650-952-5659

CIVIL: L. WADE HAMMOND
36660 NEWARK BLVD. SUITE C
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WILL@WHLANDSURVEYOR.COM

SURVEY: LEA & BRAZE ENGINEERING, INC.
2495 INDUSTRIAL PKWY WEST
HAYWARD, CA 94545
WWW.LEABRAZE.COM
510-887-4086



CAUTION

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION; PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK.

GENERAL SITE NOTES

- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS.
- CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE, AND REPORT ANY DISCREPANCIES TO THE CIVIL ENGINEER OF RECORD.
- ALL WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL OR SOIL REPORT
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE ENCROACHMENT PERMIT.
- ALL DISTANCES AND DIMENSION SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.

DEMOLITION NOTES

- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS TO REMOVE AND DISPOSE OF HAZARDOUS MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR DEMOLITION.
- TRENCHES AND DEPRESSIONS RESULTING FROM DEMOLITION TO BE BACKFILLED TO THE SATISFACTION OF THE PROJECT GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO BEGINNING DEMOLITION ACTIVITIES AS SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN.

RECORD DRAWINGS

- PRIOR TO FINAL APPROVAL; A CORRECTED AND COMPLETE SET OF RECORD DRAWINGS SHALL BE SUBMITTED TO APPLICABLE MUNICIPALITIES. THE CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ANY AND ALL CHANGES MADE FROM THE ORIGINAL DRAWINGS THROUGHOUT THE DURATION OF THE ENTIRE CONSTRUCTION PERIOD.

TREE PRESERVATION

- REMOVAL OF EXISTING TREES WITHIN THE DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE LOCAL GOVERNING MUNICIPALITY.
- TREE PRESERVATION MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION, DEMOLITION AND/OR GRADING ACTIVITIES COMMENCE AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD
- TREES CALLED OUT FOR PRESERVATION SHALL BE FENCED AT THE DRIPLINE. FENCING MAY OCCUR AT THE COMBINED DRIPLINES OF GROVES OF TREES. PLACE 3 INCH BARK MULCH BENEATH DRIPLINES OF TREES TO BE PRESERVED.
- FENCING SHALL BE 6 FEET TALL CHAIN LINK FENCING WITH STEEL POSTS EMBEDDED IN THE GROUND.
- NO GRADING SHALL OCCUR WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.
- NO CONSTRUCTION MATERIALS OR CONSTRUCTION VEHICLES MAY BE STORED WITHIN THE DRIPLINES/FENCED AREA OF EXISTING TREES.

PAVEMENT SECTIONS

- CONTRACTOR SHALL REFER TO THE STRUCTURAL DRAWINGS FOR BUILDING FOUNDATION SECTIONS AND PAD PREPARATIONS.
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR EXTERIOR HARDSCAPE AND VEHICULAR PAVEMENT REQUIREMENTS.

SITE MAINTENANCE

- REMOVE ALL SEDIMENT, DEBRIS, REFUSE AND GREEN WASTE FROM STREET AND STORM DRAINS ADJOINING THE SITE. PROVIDE A RUMBLE RACK OR PLATE IF CONSTRUCTION ACCESS IS PAVED; INSTALL A GRAVELED CONSTRUCTION ENTRANCE IF NOT. DO NO DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR

GRAVELED AREAS DURING WET WEATHER.

- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJACENT TO THE PROJECT SITE AS NECESSARY TO KEEP THE PUBLIC RIGHT-OF-WAY FREE OF SEDIMENT OR DEBRIS TRACKED-OUT FROM CONSTRUCTION ACTIVITIES.
- PROVIDE A COVERED CONTAINMENT AREA TO STORE CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES OR OTHER MATERIALS THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM IN THE EVENT OF A SPILL.
- CONTRACTOR SHALL NOT CLEAN EQUIPMENT, MACHINERY OR TOOLS IN STREET, GUTTER OR STORM DRAIN.
- CONTRACTOR SHALL ENSURE THAT CONCRETE TRUCKS, PAINTERS OR FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM MACHINERY, TOOLS OR EQUIPMENT INTO STREET, GUTTER OR STORM DRAIN.
- PROJECT OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL ON-SITE STORM DRAIN IMPROVEMENTS UPON PROJECT COMPLETION.

DUST CONTROL

- CONTRACTOR SHALL WATER SITE AS DEEMED NECESSARY BY THE INSPECTOR TO ENSURE PROPER DUST CONTROL FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJACENT TO THE PROJECT SITE AS NECESSARY TO KEEP THE PUBLIC RIGHT-OF-WAY FREE OF DUST CAUSED BY CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ENSURE ALL TRUCKS HAULING SOIL, SAND OR OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPS OR OTHER APPROPRIATE COVERINGS.

STORM DRAIN MAINTENANCE

- TO ENSURE FUNCTIONALITY; STORM DRAIN AND GRADING IMPROVEMENTS REQUIRE REGULAR MAINTENANCE. MONITOR THE DETENTION SYSTEM, CONVEYANCE LINES, ROOF GUTTERS AND DOWNSPOUTS PERIODICALLY AND REMOVE DEBRIS. GRADED SLOPES SHOULD BE MONITORED AND RE-VEGETATED AS NECESSARY.

NPDES REQUIREMENTS

- ALL ON-SITE AND OFF-SITE CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP's) TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING ANY MUNICIPAL SEPARATE STORM SEWER SYSTEMS.
- ERODED SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES MUST BE RETAINED ON SITE.
- STOCKPILES OF LOOSE CONSTRUCTION MATERIALS MUST BE PROTECTED TO KEEP WIND OR WATER FORCES FROM TRANSPORTING MATERIAL OFF-SITE.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL OR SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS SHALL NOT BE WASHED INTO ANY DRAINAGE SYSTEM.
- WASTE CONCRETE SHALL NOT BE WASHED INTO ANY DRAINAGE SYSTEM. CONTRACTOR SHALL PROVIDE NECESSARY PROVISIONS TO RETAIN CONCRETE WASTE ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- CONSTRUCTION RELATED WASTE AND DEBRIS SHALL BE KEPT IN A COVERED RECEPTACLE TO PREVENT CONTAMINATION OR DISPERSAL BY WIND OR RAIN.
- PROVIDE A STABILIZED CONSTRUCTION ENTRANCE AT VEHICULAR ACCESS TO SITE TO PREVENT SEDIMENT OR DEBRIS FROM BEING TRACKED INTO PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND SHALL NOT BE WASHED AWAY FROM RAIN OR OTHER MEANS.
- ALL SLOPES WITH DISTURBED SOILS OR REMOVED VEGETATION SHALL BE STABILIZED TO PREVENT EROSION.

EROSION AND SEDIMENT CONTROL

- THE CONCEPTS OF THE EROSION AND SEDIMENT CONTROL PLAN ARE SCHEMATIC AND DEMONSTRATE THE INTENT OF THE

CONTROL MEASURES. THE CONTRACTOR SHALL DETERMINE THE EXACT DESIGN AND EXTENT OF THE CONTROL MEASURES AS TO WORK WITH THE CONTRACTOR'S USE AND MANAGEMENT OF THE CONSTRUCTION SITE.

- THE CONTRACTOR SHALL INSPECT AND MONITOR THE EROSION AND SEDIMENT CONTROL MEASURES AND MAKE REPAIRS AS NECESSARY TO ENSURE FUNCTIONALITY.
- EROSION CONTROL MEASURES MUST BE IN PLACE THROUGHOUT THE RAINY SEASON (OCTOBER 1ST THROUGH APRIL 30TH).

SITE CONSTRUCTION FENCE

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION. THE FENCE SHALL BE A MINIMUM OF A 6' GALVANIZED CHAIN LINK WITH WINDSCREEN FABRIC.

UTILITY NOTES

- ALL TRENCHES SHALL BE BACKFILLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT ACCOUNTS FOR THE ACTUAL LOCATION OF EXISTING UTILITIES DETERMINED DURING DEMOLITION.
- THE UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE NECESSARY FITTINGS AND ACCESSORIES SO THAT THE SYSTEM IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THE APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AND SURFACE EVIDENCE. THE OWNER, BY ACCEPTING THESE PLANS AGREES TO HOLD UNDERSIGNED HARMLESS FROM DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES NOT REPORTED OR INDICATED ON PUBLIC RECORDS OR NOT ASCERTAINABLE FROM SURFACE EVIDENCE.
- CONTRACTOR SHALL VERIFY ALL EXISTING STORM DRAIN AND SANITARY SEWER INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY WORK. ALL STORM DRAIN AND SANITARY SEWER WORK SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT TO ALLOW FOR NECESSARY ADJUSTMENTS TO THE ENTIRE LINE.
- A MINIMUM OF SIX INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT WATER AND SANITARY SEWER PIPELINES SHALL BE TWELVE INCHES AND NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE EXISTING SANITARY SEWER PIPELINES.
- A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE FEET, EXCEPT WATER AND SANITARY SEWER PIPELINES SHALL BE A MINIMUM OF TEN FEET, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONTACT APPROPRIATE UTILITY SERVICE PROVIDERS AND REQUEST VERIFICATION OF SERVICE POINTS.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THE ENDS CAPPED OUTSIDE THE BUILDING ENVELOPE.

FIRE PROTECTION NOTES

- CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS AND THE CALIFORNIA FIRE CODE AND LOCAL MUNICIPALITY STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS AND SUBMIT SAID DRAWINGS TO THE LOCAL FIRE MARSHALL FOR REVIEW AND APPROVAL.

EXISTING

	WATER METER OR WATER VALVE BOX
	FIRE HYDRANT
	TREE - TRUNK DIAMETER IN INCHES
	TREE WITH MULTIPLE TRUNKS
	TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
	TOP OF CURB
	FENCE
	OVERHEAD WIRES
	POWER POLE
	SPOT ELEVATION
	EDGE OF AC PAVING
	UNDERGROUND PAINT MARKINGS PROVIDED BY OTHERS.

PROPOSED

	FBR	FIBER ROLL
	TP	TREE PROTECTION FENCE
	SD	6" PVC STORM DRAIN CONVEYANCE LINE
	FM	2" PVC FORCE MAIN
	JT	UNDERGROUND JOINT TRENCH
	SS	SANITARY SEWER LINE
	W	WATER SERVICE
	G	GAS SERVICE
	GB	GRADE BREAK
		IMPROVEMENT OUTLINE
		DRAINAGE COURSE
	+25.34 FG	FINISHED GRADE SPOT ELEVATION
	Ⓧ	RAINWATER DOWNSPOUT
	Ⓧ	AREA DRAIN

ESTIMATED EARTHWORK QUANTITIES

CUT (WITHIN BUILDING ENVELOPE)	0 C.Y.
CUT (OUTSIDE BUILDING ENVELOPE)	145 C.Y.
FILL (WITHIN BUILDING ENVELOPE)	0 C.Y.
FILL (OUTSIDE BUILDING ENVELOPE)	235 C.Y.
BALANCE (IMPORT)	90 C.Y.

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR THEIR OWN USE.

ABBREVIATIONS

AC	ASPHALT
CONC.	CONCRETE
COTG	CLEANOUT TO GRADE
DC	DECOMPOSED GRANITE
TC	TOP OF CURB
FL	FLOW LINE
INV	INVERT
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEAN OUT
FG	FINISHED GRADE
FS	FINISHED SURFACE
(E)	EXISTING
(N)	NEW
ELEC.	ELECTRIC
COMM.	COMMUNICATIONS
(TYP.)	TYPICAL



Know what's below.
Call before you dig.

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DATE	01-08-2026
JOB#	5676
APN	038-162-55

HOMES RESIDENCE
4 OLD LANDING ROAD
TIBURON, CA 94920
CITY OF TIBURON
MARIN COUNTY



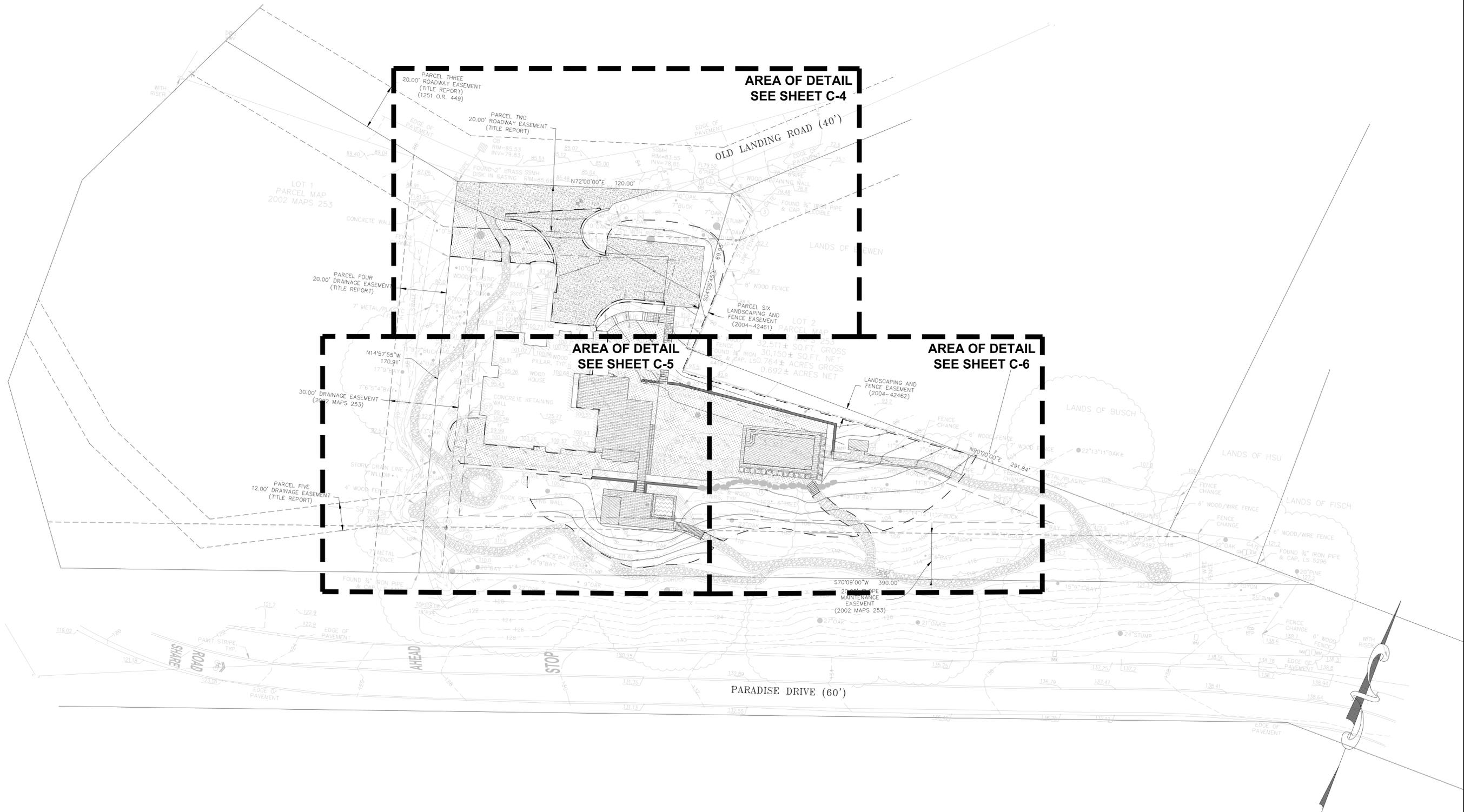
SHEET INDEX

- C-1 TITLE SHEET
- C-2 DEMOLITION PLAN
- C-3 OVERALL SITE PLAN
- C-4 GRADING & DRAINAGE PLAN
- C-5 GRADING & DRAINAGE PLAN
- C-6 GRADING & DRAINAGE PLAN
- C-7 DETAILS
- C-8 SECTIONS
- C-9 SECTIONS
- C-10 EROSION CONTROL PLAN
- C-11 MARIN COUNTY BMPs
- C-12 IMPERVIOUS AREAS EXHIBIT

SHEET NUMBER

C-1

OVERALL SITE PLAN



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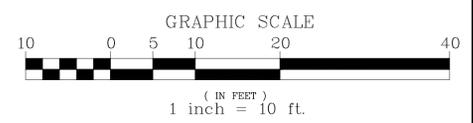
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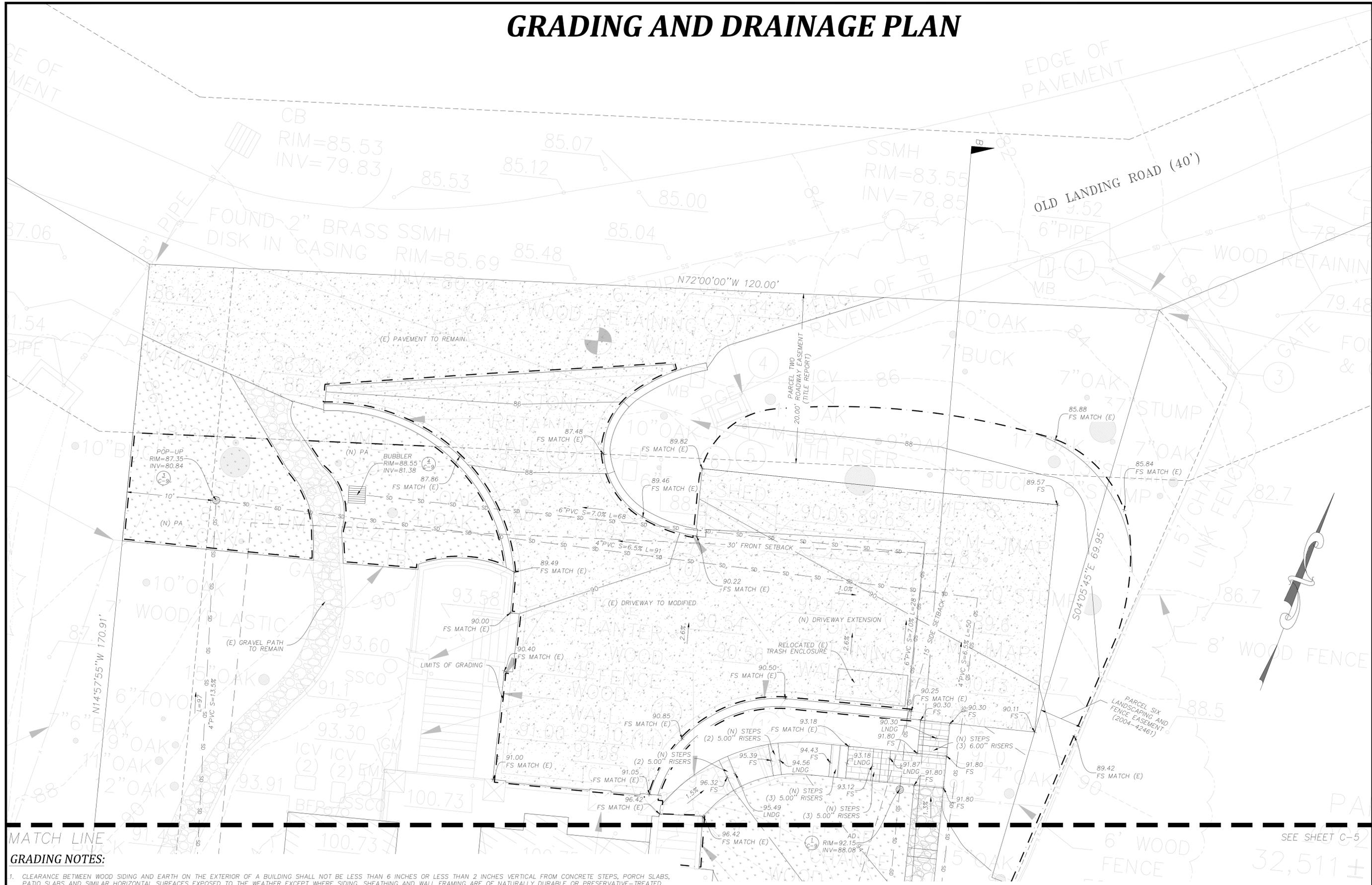
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3 OF 12



GRADING AND DRAINAGE PLAN

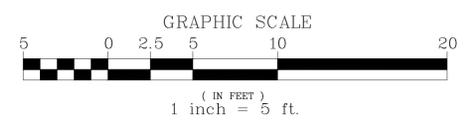


MATCH LINE
GRADING NOTES:

- CLEARANCE BETWEEN WOOD SIDING AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 6 INCHES OR LESS THAN 2 INCHES VERTICAL FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER EXCEPT WHERE SIDING, SHEATHING AND WALL FRAMING ARE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD. [C.B.C. 2304.12.1.5]
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT ALLOW WATER TO POND. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%); OR WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET (5%), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. [C.B.C. 1804A.4]
- IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF (2%) AWAY FROM THE BUILDING. [C.B.C. 1804A.4]
- IMPORT SOILS SHALL MEET THE REQUIREMENTS OF THE SOILS REPORT. ALL FILL SHALL BE COMPACTED PER THE SOILS REPORT AND THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.

NOTE: UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEETFLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.

*BUILDING PAD: ADJUST BUILDING PAD ELEVATION AS REQUIRED PER STRUCTURAL/ARCHITECTURAL PLANS.



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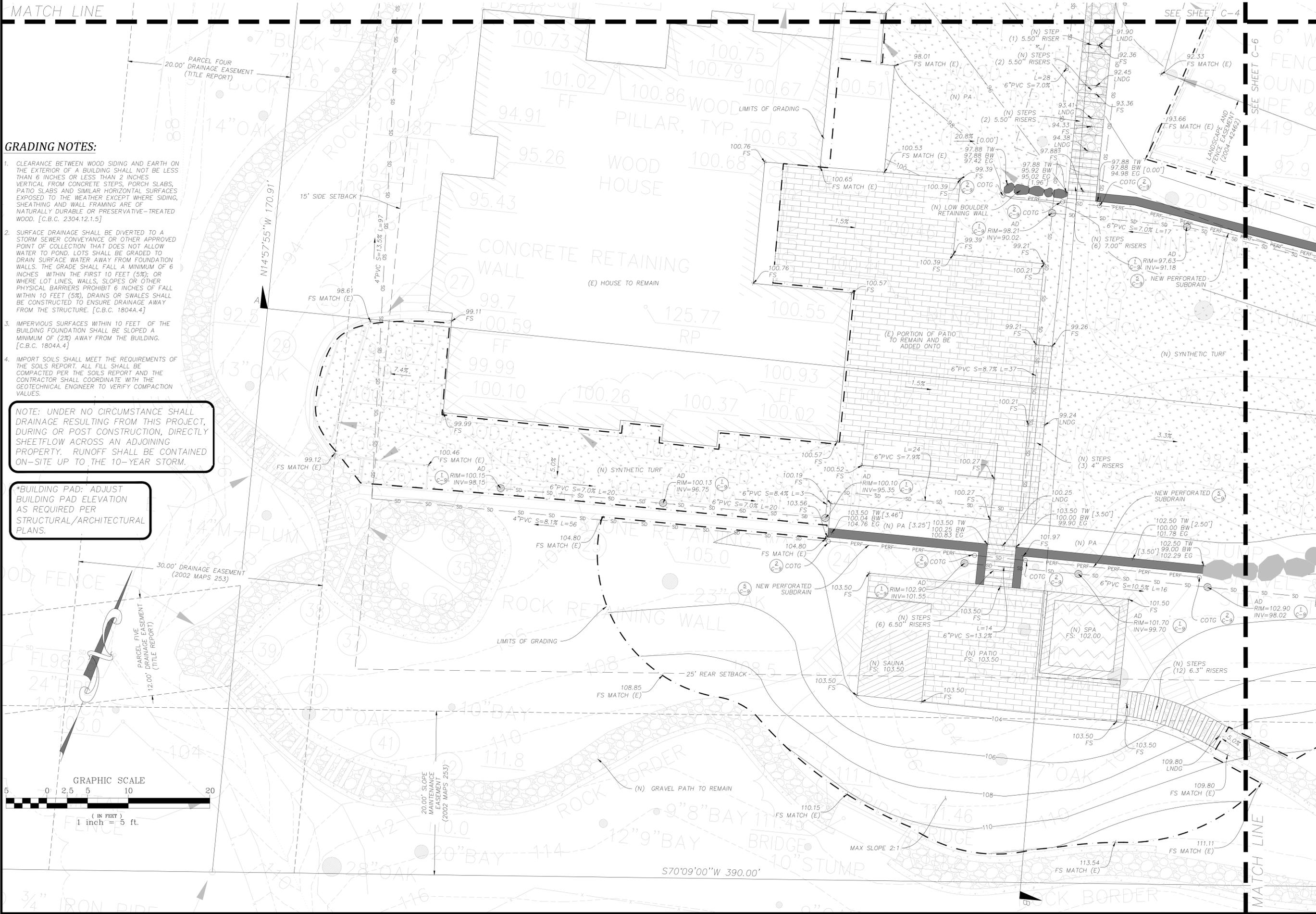
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MARIN COUNTY



SHEET NUMBER									

C-4

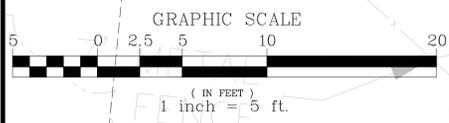
GRADING AND DRAINAGE PLAN



- GRADING NOTES:**
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 MARIN COUNTY



SHEET NUMBER

C-5

5 OF 12

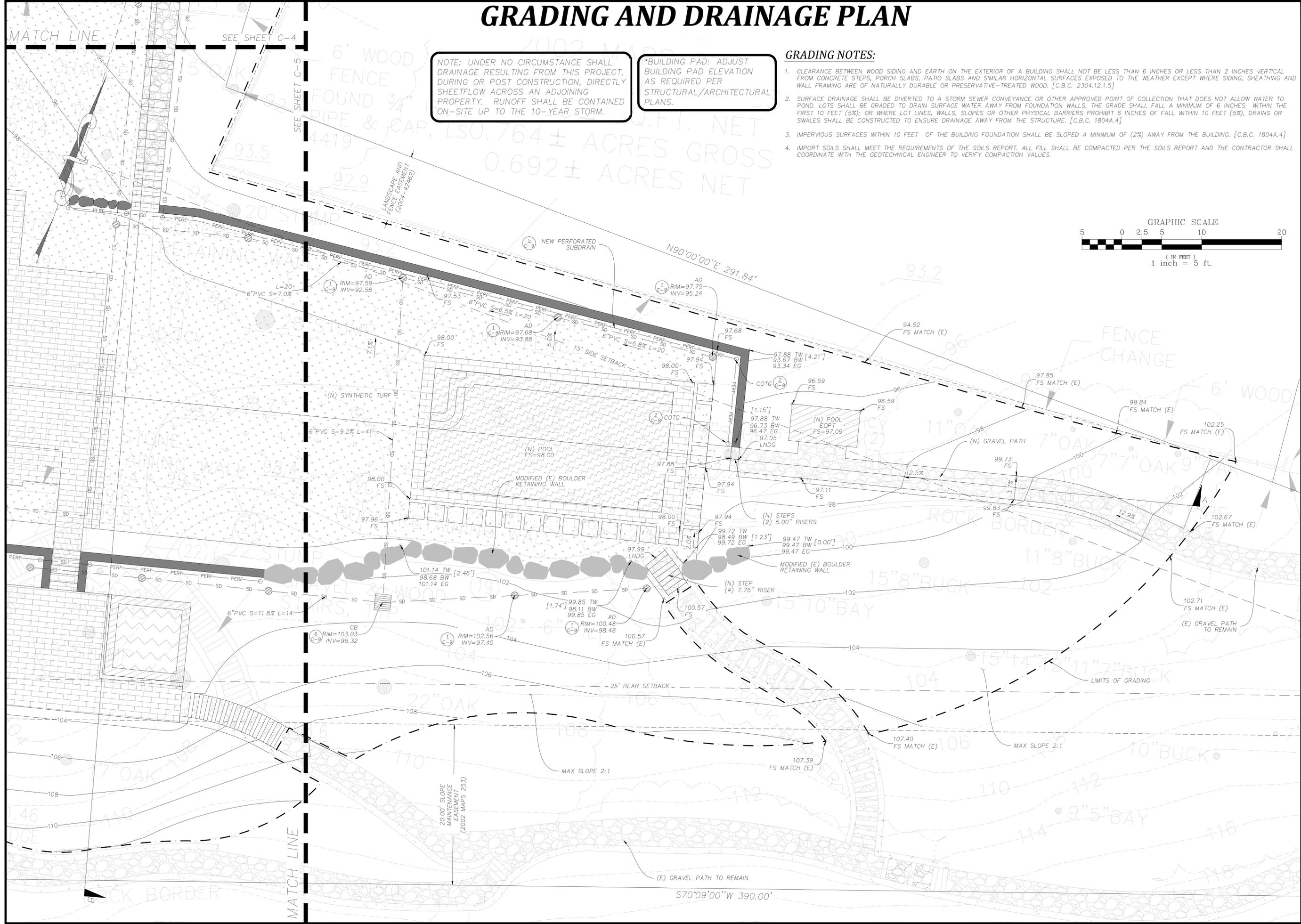
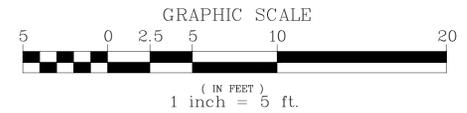
GRADING AND DRAINAGE PLAN

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SCALE	1" = 5'
DATE	01-08-2026
JOB#	5676
APN	038-162-55

HOMES RESIDENCE
 4 OLD LANDING ROAD
 TIBURON, CA 94920
 MARIN COUNTY
 CITY OF TIBURON



SHEET NUMBER

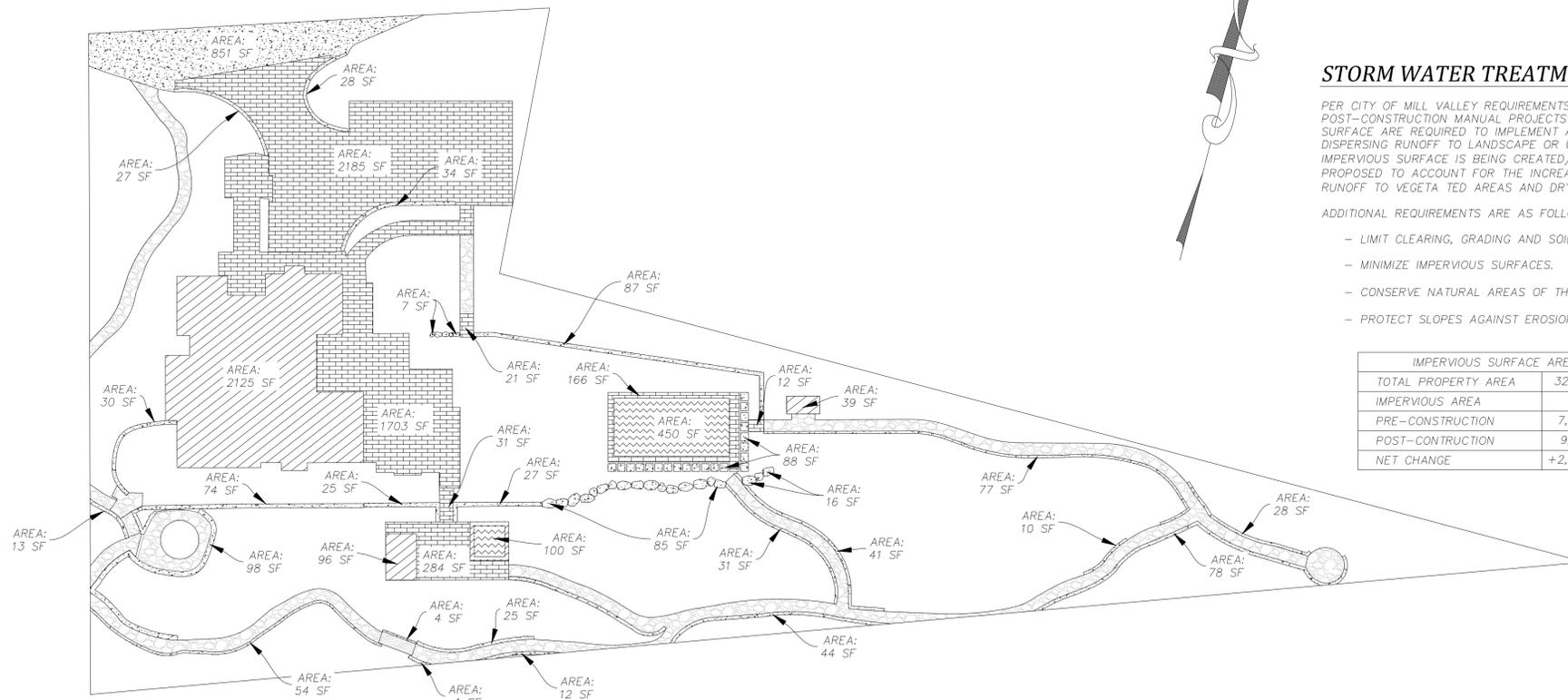
C-6

6 OF 12

IMPERVIOUS AREA EXHIBIT



PRE-CONSTRUCTION



POST-CONSTRUCTION

HATCH LEGEND

-  BUILDING/SHED/SAUNA
-  CONCRETE/ROCK
-  STONE
-  POOL/SPA
-  WOOD (NOT AS COUNTED IMPERVIOUS)
-  GRAVEL (NOT AS COUNTED IMPERVIOUS)

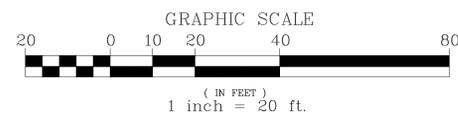
STORM WATER TREATMENT (BASMAA) NOTES:

PER CITY OF MILL VALLEY REQUIREMENTS, THE PROJECT IS REQUIRED TO COMPLY WITH BASMAA POST-CONSTRUCTION MANUAL PROJECTS THAT CREATE OR REPLACE 2,500SF OR MORE OF IMPERVIOUS SURFACE ARE REQUIRED TO IMPLEMENT AT LEAST ONE MEASURE TO REDUCE RUNOFF. FOR EXAMPLE, BY DISPERSING RUNOFF TO LANDSCAPE OR USING PERVIOUS PAVEMENTS. MORE THAN 2,500SF OF IMPERVIOUS SURFACE IS BEING CREATED/REPLACED, THEREFORE TWO BEST MANAGEMENT PRACTICES ARE PROPOSED TO ACCOUNT FOR THE INCREASE IN RUNOFF PROVIDING TREATMENT AND RETENTION (DISPERSE RUNOFF TO VEGETATED AREAS AND DRY WELLS AND DISSIPATORS).

ADDITIONAL REQUIREMENTS ARE AS FOLLOWS:

- LIMIT CLEARING, GRADING AND SOIL COMPACTION.
- MINIMIZE IMPERVIOUS SURFACES.
- CONSERVE NATURAL AREAS OF THE SITE (GRADING LIMITS LIMITED TO BUILDING ENVELOPE).
- PROTECT SLOPES AGAINST EROSION (EROSION CONTROL).

IMPERVIOUS SURFACE AREAS	
TOTAL PROPERTY AREA	32,511 FT ²
IMPERVIOUS AREA	
PRE-CONSTRUCTION	7,082 FT ²
POST-CONSTRUCTION	9,110 FT ²
NET CHANGE	+2,028 FT ²



L. Wade Hammond
Civil Engineering & Land Surveying
36660 Newark Blvd. Suite C
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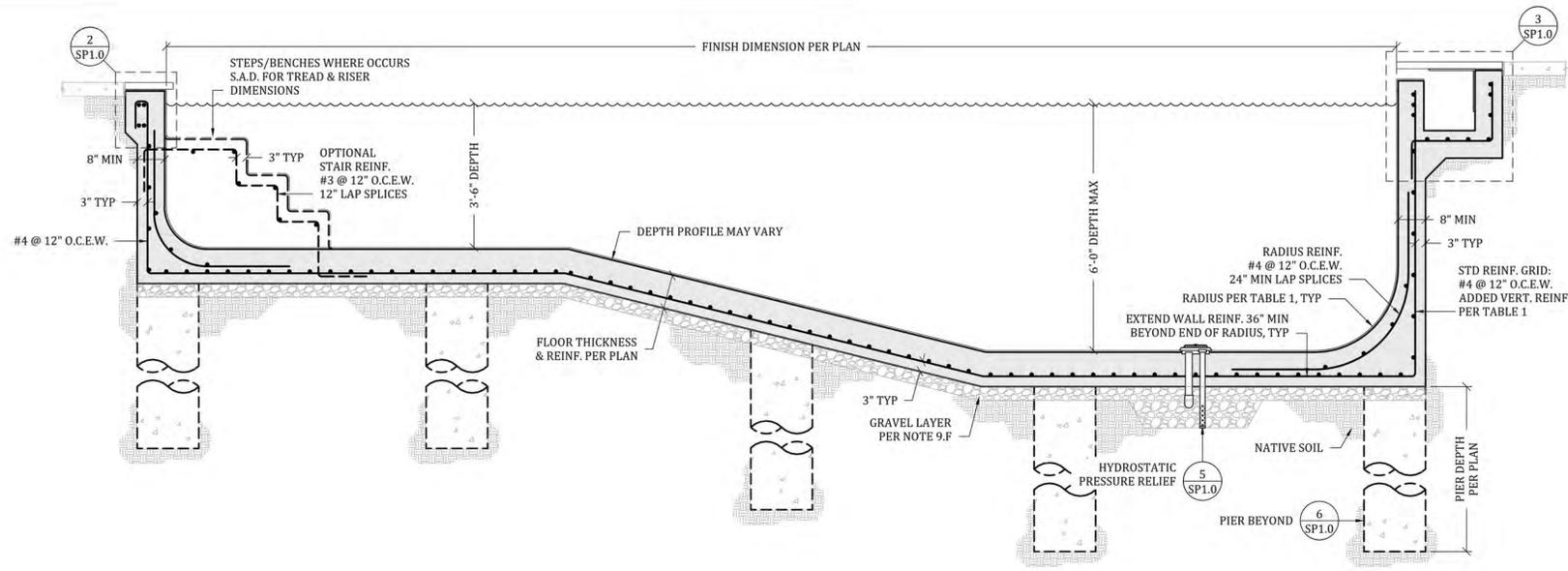
SCALE	1" = 20'
DATE	01-08-2026
JOB#	5676
APN	038-162-55

HOMES RESIDENCE
4 OLD LANDING ROAD
TIBURON, CA 94920
CITY OF TIBURON MARIN COUNTY



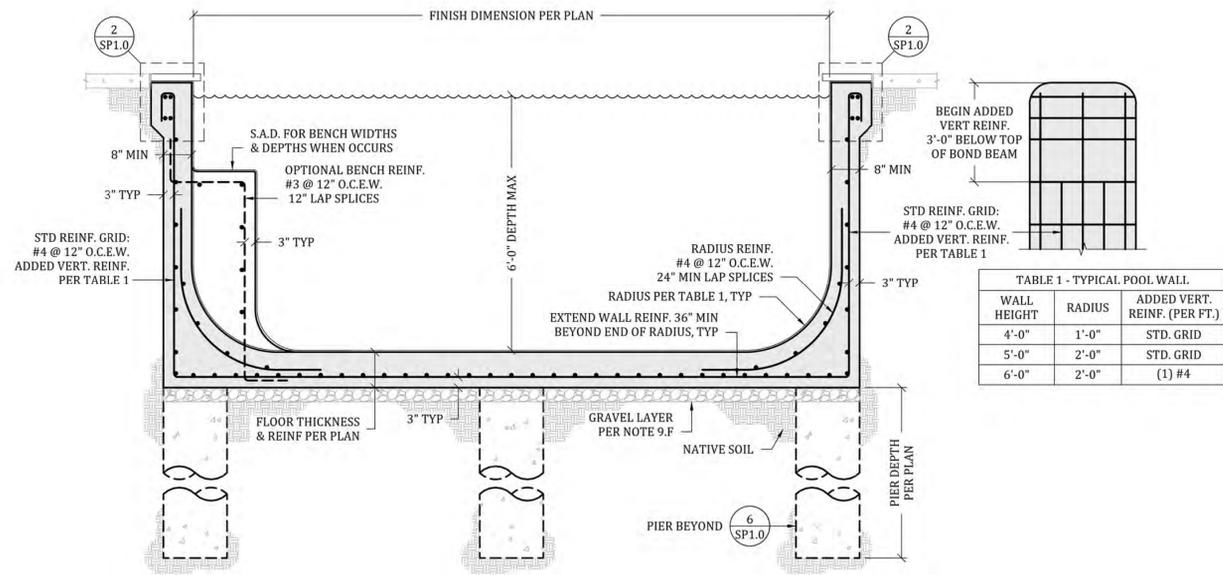
SHEET NUMBER

C-12



1 POOL SECTION

SCALE: 1/2" = 1'-0"



2 POOL SECTION

SCALE: 1/2" = 1'-0"

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Project: HOMES RESIDENCE
4 OLD LANDING ROAD
TIBURON, CA 94920
Client: HENRY HOMES
4 OLD LANDING ROAD
TIBURON, CA 94920



Rev	Date	Description
A		
B		
C		
D		
E		

STRUCTURAL ENGINEERING
POOL SECTIONS

Page: 2 OF 2
Scale: AS NOTED
Date: OCTOBER 23, 2025

Project #: SE25-201
Engineer: KLENEHAN

Sheet: SP1.1