







THE PROJECT INCLUDES 500 SQUARE FEET OR MORE OF LANDSCAPE AREA PER MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE (MWELO) REQUIREMENTS.

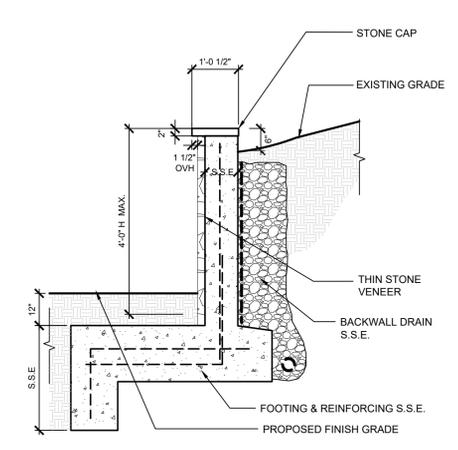
LEGEND

EXISTING TREES TO BE REMOVED:  
1 x MULTI CAMPORH TREE,  
DBH 17", 17", 23", 20"  
NOT A PROTECTED TREE

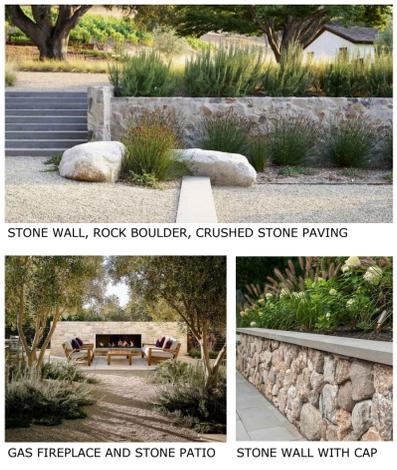
EXISTING HARDSCAPE TO BE REMOVED (DECK, PAVEMENT, STONE WALLS)

EXISTING IMPERVIOUS SURFACE AREA: 5,452 SQ FT  
PROPOSED IMPERVIOUS SURFACE AREA: 6,329 SQ FT  
GRADING OR EARTH MOVEMENT: 177 CU YD (INITIAL ESTIMATES)

PROPOSED RETAINING WALL DETAILS (N.T.S.)



PROPOSED SITE WALL MATERIALS



PROPOSED LIGHT FIXTURES

**FXLuminaire**

LEDge Lights

**C-LL**

The compact C-LL ledge light is a perfect addition to lighting projects for clients with modest budgets. Because of its corrosion-resistant construction, the fixture is especially at home in coastal regions.

Quick Facts

- Migraine brass construction
- Integrated LED
- Corrosion-resistant design
- Attractive antique bronze finish
- Input voltage: 10-15V

**FXLuminaire**

RH Recessed Wall/Step Light

DESIGNER PLUS

Designed for sleek, seamless installation, the fully recessed RH Step Light is a modern upgrade to lighting walkways and stairs. The fixture is available with LED, S.S.E., and ZDC configurations. The recessed integrated LED light sources are diffused for soft illumination on steps and walkways and maximum glare control, critical for applications where glare changes are inevitable and safety is top priority. Fully potted with robust mechanical sealing and compatible with standardized single-gang junction boxes, the RH fixture is ideal for near-grade installations.

Quick Facts

- Die-cast aluminum
- Two-tone marine-grade anodized and powder coat finish
- Compatible with Luxor® emission and powder coat finish
- Compatible with standard single-gang junction boxes
- Input voltage: 10-15V
- Luxor® integrated LEDs
- Compatible with Luxor® emission and powder coat finish
- Phase dimmable

**FXLuminaire**

Path and Area Lights

**SP/SP-A Path Light**

The SP/SP-A is designed for minimalist themes or compact spaces, where larger path lights just won't work. The beam spread provides maximum projection with minimum glare.

Quick Facts

- Slam, machined, and extruded brass/copper or aluminum
- Natural, powder coated, or antique copper/brass
- G4 hi-bay lamp
- Compatible with Luxor® technology
- Phase dimmable
- Input voltage: 10-15V

**FXLuminaire**

SD Down Light

DESIGNER PLUS

The simple cylindrical drum design of the SD wall light complements a range of applications. The fixture is offered in 3, 6, and 12" A ZDC option is also available.

Quick Facts

- Die-cast aluminum
- One-tone marine-grade anodized and powder coat finish
- Die-cast integrated LEDs
- Compatible with Luxor® emission and powder coat finish
- Color temperature filters
- Phase dimmable
- Temper-resistant features
- Input voltage: 10-15V

PLANT LIST

Abbr.	Botanical name	Common name	Mature Height x Spread	Types	Drought-resis	Native	Fire-resis	Growth rate	Water use
<b>Trees</b>									
CITR	Citrus spp.	Lemon/ Lime	8'-20' x 8'-20'	Tree			F	Moderate	Low
OLEE	Olea europaea 'Royal Fruitless'	Fruitless Olive tree	15' x 15'	Tree	X		F	Slow	Moderate
<b>Shrubs</b>									
CEAY	Ceanothus 'Yankee Point'	Yankee Point ceanothus	3'x10'	Shrub	X	N		Fast	Low
LAVI	Lavandula x intermedia 'Grosso'	Grosso lavender	2'-3' x 2'-3'	Shrub	X		F	Slow/moderate	Low
LEUS	Leucodendron 'safari Goldstrike'	Yellow Cone conbush	4'-6' x 4'-6'	Shrub				Moderate	Low
OLEM	Olea europaea 'Montra'	Little Olive Dwarf Olive	4'-6' x 4'-6'	Shrub				Slow	Low
PERA	Peroovskia atriplicifolia 'Blue Spire'	Russian sage	3'-4' x 3'-4'	Shrub	X			Moderate/ fast	Low
<b>Perennial/Ornamental grass, Succulent, Groundcover</b>									
CART	Carex 'Tumulticola	Foothill Sedge	1' x 1'-2'	Perennial	X	N		Slow/moderate	Low
CHOE	Chondropetalum tectorum 'El Campo'	El Campo small cape rush	2'-3' x 3'-4'	Perennial	X			Slow/moderate	Low
FESG	Festuca glauca ssp.	Blue fescue	1' x 1'	Ornamental Grass	X			Moderate/ fast	Low
MISS	Miscanthus sinensis 'Morning Light'	Morning Light Japanese Silver Grass	4'-6'x2'-3'	Ornamental Grass	X			Moderate/ fast	Moderate
MYOP	Myoporum parvifolium 'pink'	Pink Creeping Myoporum	3'-6" x 9"	Groundcover	X			Fast	Low
SATD	Satureja douglasii (Clinopodium douglasii)	Yuba Buena	3'-6" x 3"	Groundcover	X	N	F	Moderate/ fast	Low

LIGHTING LEGEND

SYMBOL	KEY	QTY.	TYPE	MANUFACTURE, MODEL, FINISH
	E1	14	WALL LEDGE	FX LUMINAIRE C-LL; WALL LEDGE RECESSED; BRONZE FINISH TBD
	E2	14	STEP	FX LUMINAIRE RH; RECESSED; BRONZE FINISH TBD
	E3	20	PATH	FX LUMINAIRE SP-A ; POLE ON GRADE; BRONZE FINISH TBD
	E4	2	DOWN LIGHT	FX LUMINAIRE SD; SURFACE MOUNT; BRONZE FINISH TBD
	GFI	-	GFI OUTLET	
				TRANSFORMER PER MANUFACTURE'S RECOMMENDATION TBD

LANDSCAPE LIGHTING

NOTES:

1. LIGHTING INFORMATION SHOWN HERE ARE INTENT FOR FIXTURE AND FINISH ONLY.
2. ELECTRICAL TITLE-24 ENERGY CALCULATION, LIGHTING LOADS CALCULATION, CIRCUITRY, AND SWITCH COORDINATION PER ELECTRICAL ENGINEER.
3. CONTRACTOR TO VERIFY SMART CONTROL SYSTEM, TIMER, TRANSFORMERS, SWITCH LOCATION AND SETTING WITH L.A. & OWNER PRIOR TO INSTALLATION.

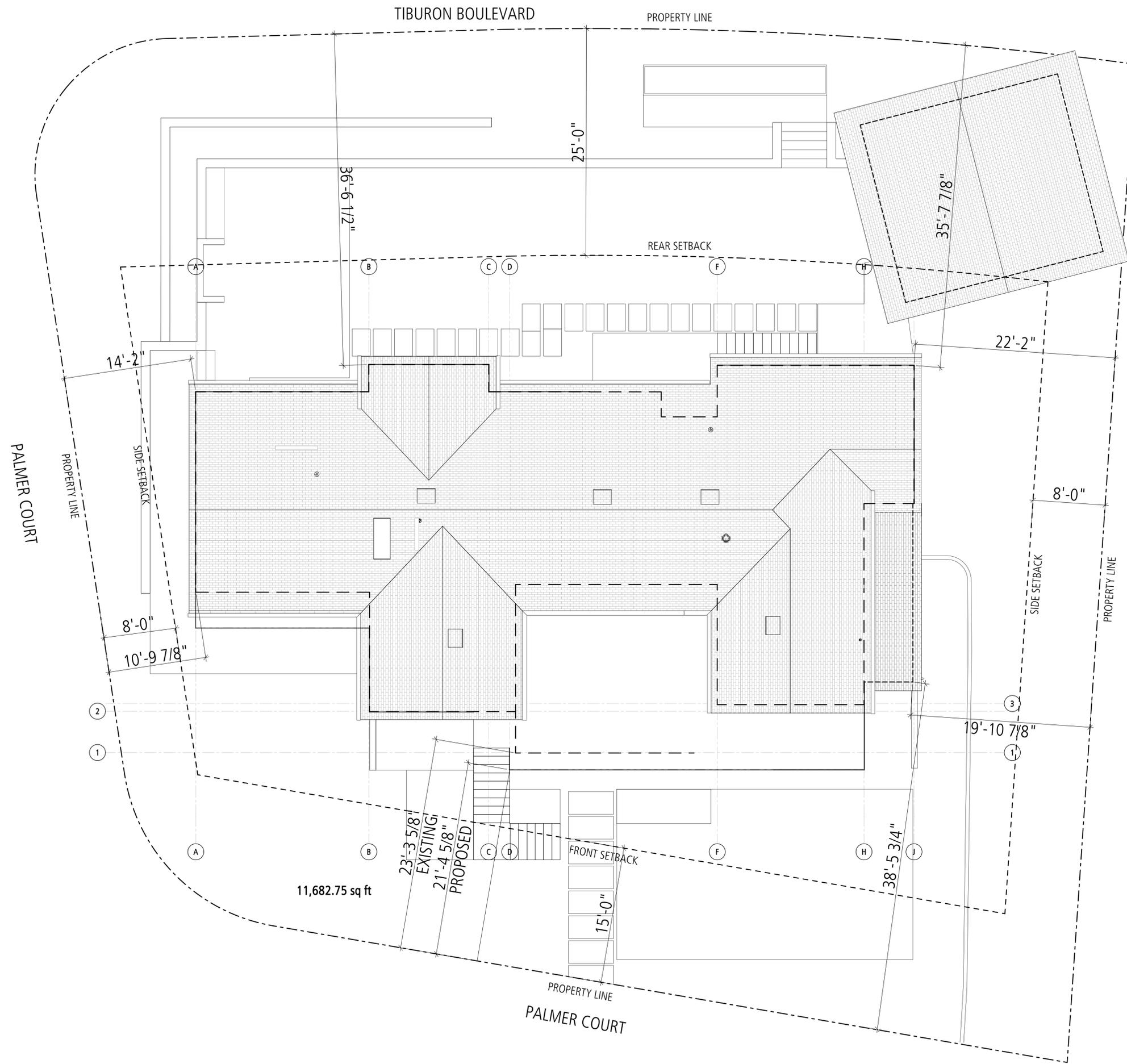
4. ALL EXTERIOR LIGHTING SHALL BE SHIELDED DOWN LIGHTING TO MEET TOWN CODE SECTION 16-30.070

No.Revisions / Issue	Date
PLANNING REVIEW	11.25.25
COMMENTS	01.15.26

-NOT FOR CONSTRUCTION-

LANDSCAPE PLAN

Scale: 1/8"=1'-0"  
Date: 11.25.2025



11,682.75 sq ft

23'-3 5/8"  
EXISTING

21'-4 5/8"  
PROPOSED

FRONT SETBACK

15'-0"

PROPERTY LINE  
PALMER COURT

REAR SETBACK

25'-0"

35'-7 7/8"

22'-2"

8'-0"

SIDE SETBACK

PROPERTY LINE

19'-10 7/8"

38'-5 3/4"

PALMER COURT

PROPERTY LINE

SIDE SETBACK

14'-2"

8'-0"

10'-9 7/8"

36'-6 1/2"

TIBURON BOULEVARD

PROPERTY LINE

PROPOSED SITE PLAN

3/16" = 1'-0"



Mark Davis Design

3720 Sacramento Street, Suite 3  
San Francisco CA 94118

415.990.8491

www.markddesign.com



MARK C. DAVIS

License No. C 32718

EESLEY RESIDENCE

5 PALMER COURT  
BELVEDERE, CA 94920  
APN 055-201-32

REV. ISSUED FOR: DATE:

PLANNING SET NOV 28, 2025

REVISION 1 JAN 9, 2026

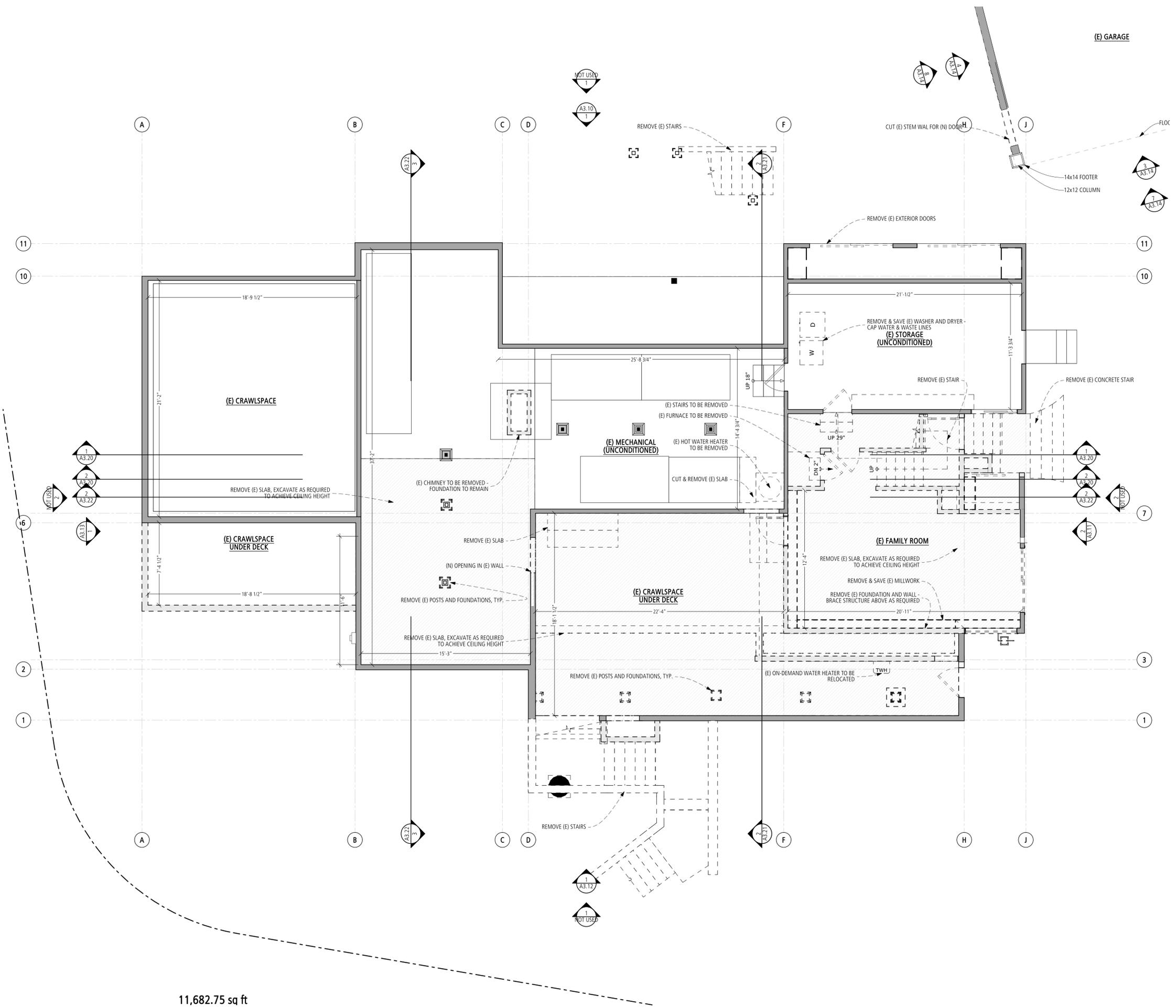
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SITE PLAN

A1.00

PROJECT NO. 2504

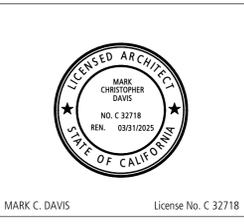


11,682.75 sq ft

**BASEMENT DEMOLITION PLAN**

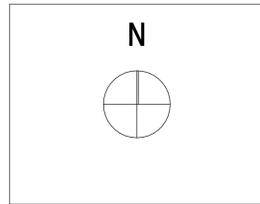
1/4" = 1'-0"

**md<sup>D</sup>**  
**Mark Davis Design**  
 3720 Sacramento Street, Suite 3  
 San Francisco CA 94118  
 415.990.8491  
 www.markdavisdesign.com



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 5 PALMER COURT  
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**BASEMENT DEMOLITION PLAN**  
**A1.10**  
 PROJECT NO. 2504  
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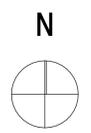


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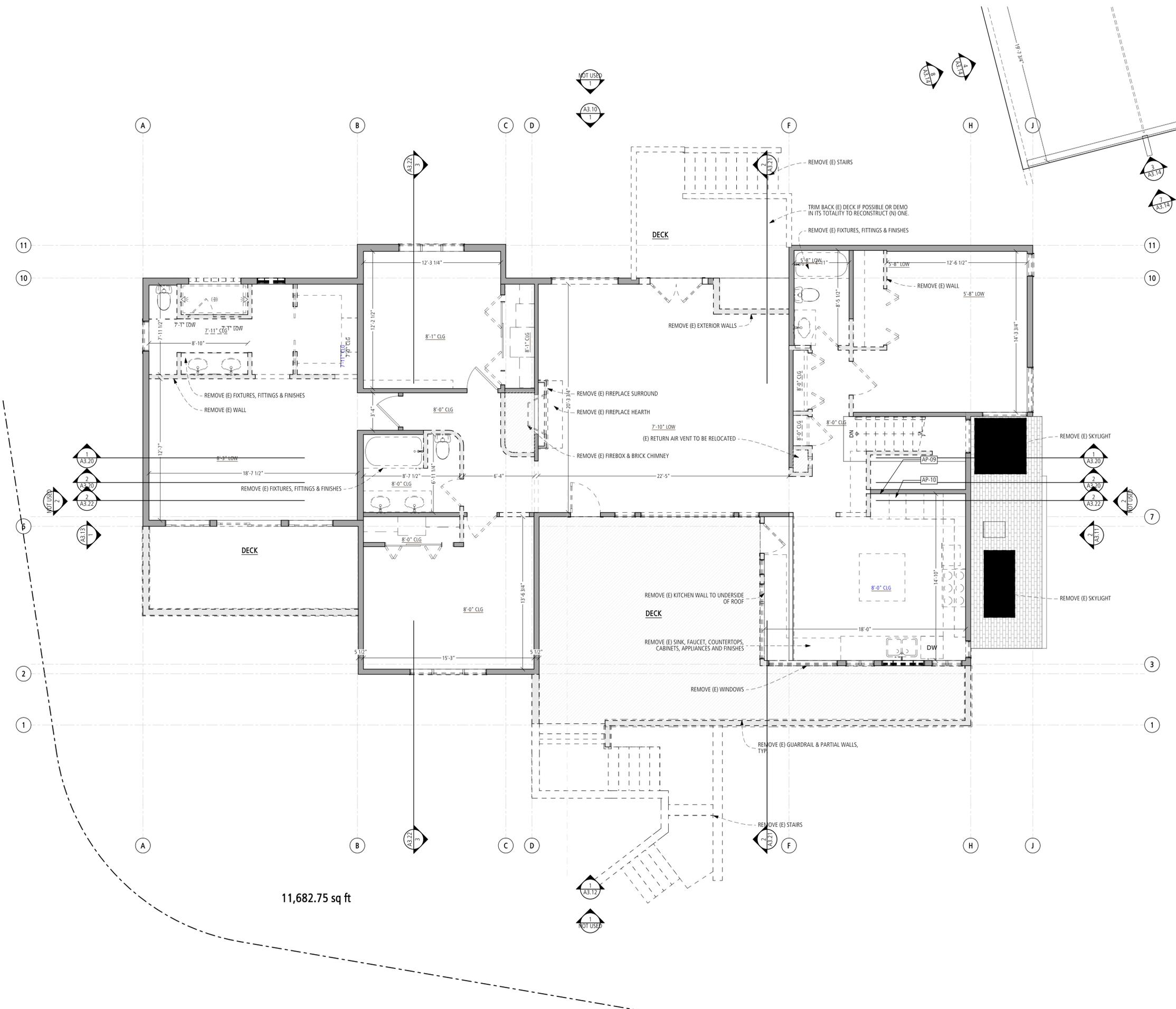
REV.	ISSUED FOR:	DATE:
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▲	REVISION 1	JAN 9, 2026



## FIRST FLOOR DEMOLITION PLAN

# A1.11

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11,682.75 sq ft

### FIRST FLOOR DEMOLITION PLAN

1/4" = 1'-0"



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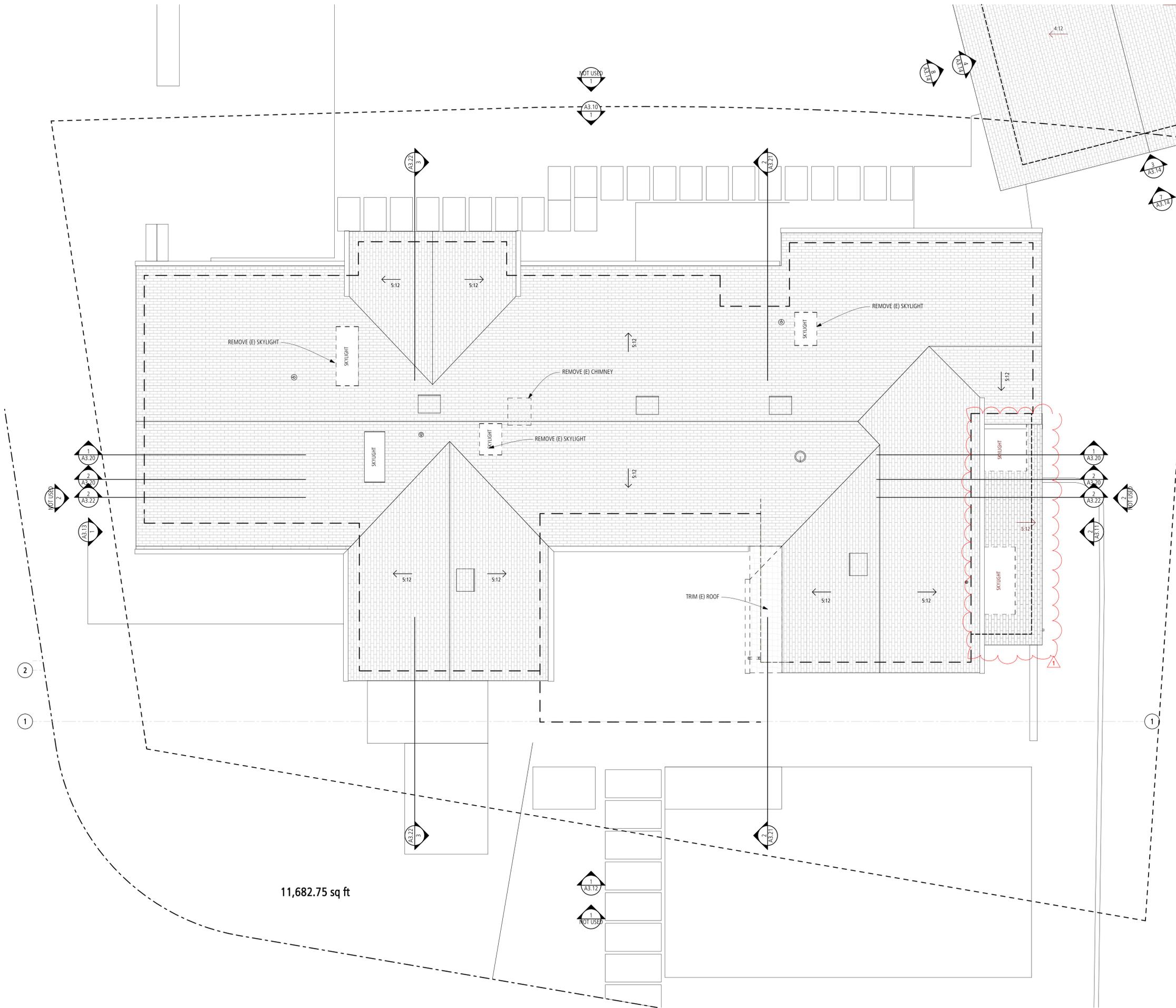
REVISION 1 JAN 9, 2026


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## ROOF DEMOLITION PLAN

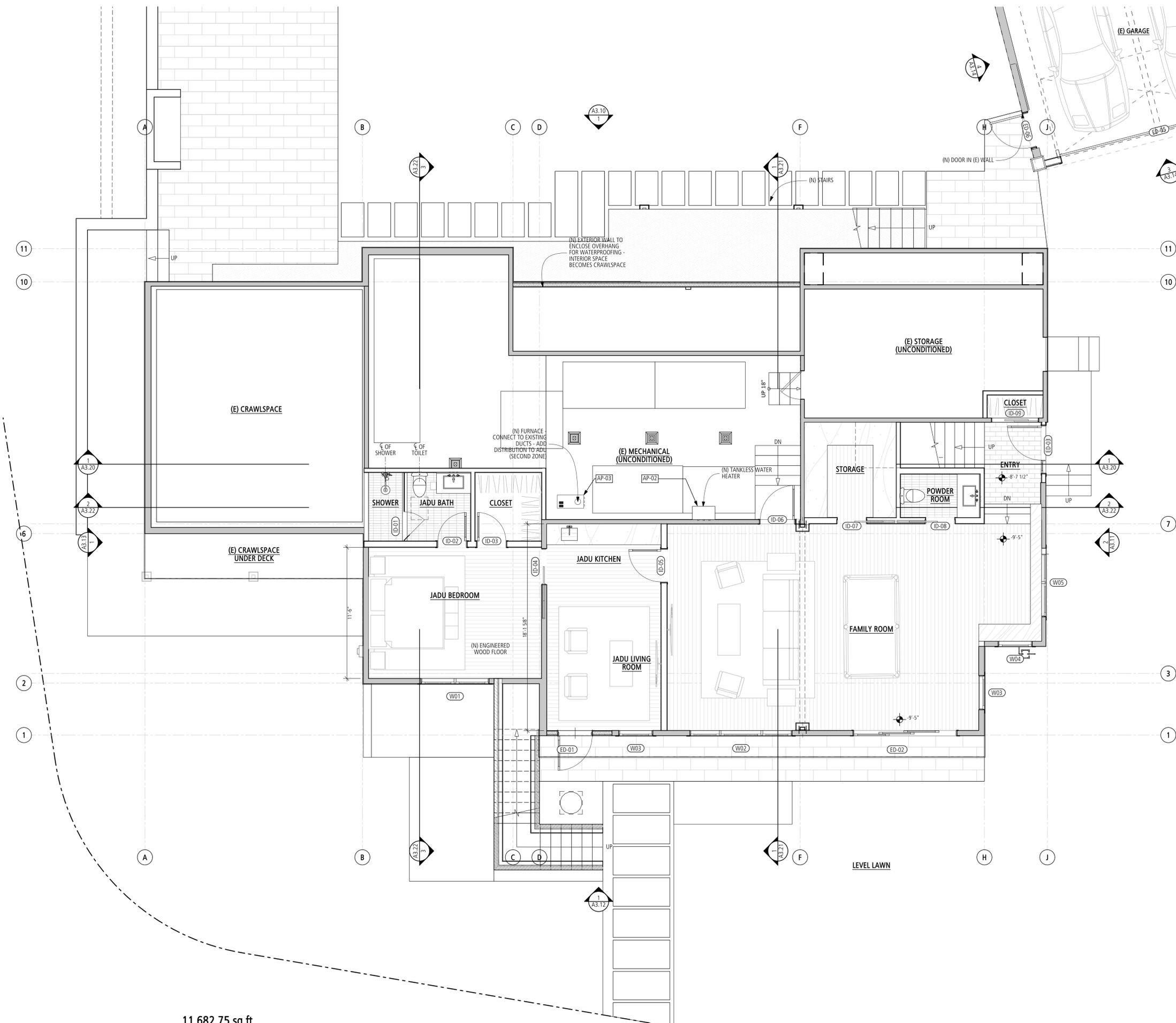
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11,682.75 sq ft

ROOF DEMOLITION PLAN

1/4" = 1'-0"



11,682.75 sq ft

PROPOSED BASEMENT FLOOR PLAN

GENERAL PLAN NOTES:

- ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N., TYP.
- HAND RAIL AND GUARD RAIL ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP (CBC 1607.7.1.1).
- ALL PERIMETER 2X6 WALLS TO HAVE R-19 BATT INSULATION.
- ALL DUCT WORK TO BE 26GA MIN.
- PLUMBING VENTS SHALL TERMINATE AT LEAST 10' FROM OR 3' ABOVE ANY OPENING PER CPC 906.2.
- GAS AND EXHAUST VENTS SHALL TERMINATE AT LEAST 4' FROM OR 1' ABOVE ANY OPENABLE SKYLIGHT PER CMC 802.6 & SFMC 802.6.2.
- COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
- ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1.
- DIRECT VENT APPLIANCES PER CMC 802.2.4 (PER MANU INSTRUCTIONS) AND SFMC 802.6.2.
- CLOTHES DRYER EXHAUST SHALL BE MIN. 4", TERMINATE TO OUTSIDE OF BUILDING, EQUIPPED WITH BACK DRAFT DAMPER AND MEET REQUIREMENTS OF CMC 504.3. PROVIDE 100 SQ. IN. MINIMUM MAKE UP AIR OPENING FOR DOMESTIC DRYERS.
- ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3FT FROM THE PROPERTY LINE AND 3FT FROM OPENINGS INTO THE BUILDING PER CMC 504.5 AND PROVIDED W/ BACK DRAFT DAMPERS PER CMC 504.1.
- DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC 504.2 AND COMPLY WITH CMC TABLE 403.7
- UPPER CABINETS SHALL BE A MINIMUM OF 30" ABOVE COOKING TOP PER CMC 916.1.2. PROVIDE THE COOKING APPLIANCES MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS PER CMC 916.1.1

FOUNDATION VENTILATION CALCULATIONS:  
 FOUNDATION VENTILATION: 1 SQUARE FOOT VENTILATION PER 1,500 SQUARE FEET OF CRAWL SPACE AREA (IF COVERED WITH CLASS 1 VAPOR RETARDER, CBC 1202.4.1.2 AND CRC 408)  
 CRAWL SPACE = 2,250 SF (2,250/1,500=1.5 SF OR 216 SQUARE INCHES OF VENTILATION REQUIRED).

- FOUNDATION VENTS: 8X14 WITH 62 SQUARE INCHES VENTILATION EACH. 4 REQUIRED. 4 PROVIDED.

BATHROOM FINISHES AND FIXTURES NOTES:

- TUB AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FT ABOVE THE FLOOR
- SHOWER OR TUB COMPARTMENTS SHALL HAVE MIN. CEILING HEIGHT OF 6'-8"
- TILE BACKER BOARD MATERIALS SHALL BE NON ASBESTOS FIBER CEMENT BACKER BOARD. R702.4.2
- WATER RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER CLASS I OR CLASS II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT OR USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER.
- FLUSH VOLUME FOR ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GPM. SHOWERHEADS SHALL HAVE A MAX FLOW RATE OF 1.8 GPM AT 80PSI. KITCHEN FAUCET FLOW RATES SHALL NOT EXCEED 1.8 GPM AT 60PSI. LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GPM AT 60PSI WITH MIN. FLOW RATE OF .8 GPM AT 60 PSI

PARTITION TAG TYPE:  
 RATING: HOUR RATING AS INDICATED  
 PARTITION TYPE PER SCHEDULE  
 NOMINAL STUD SIZE IN WOOD

PARTITION TYPES:  
 TYPE 1: NON-RATED FULL HEIGHT EXTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD ON INSIDE OF STUD AND 1/2" LAYER OF PLYWOOD ON THE OUTSIDE, FINISH MATERIAL IS CEMENTITIOUS SHINGLE SIDING, TYP.  
 TYPE 2: NON-RATED FULL HEIGHT EXTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD ON INSIDE OF STUD AND 1/2" LAYER OF PLYWOOD ON THE OUTSIDE, FINISH MATERIAL IS 7/8" STUCCO, TYP.  
 TYPE 3: NON-RATED INTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE OF STUD, TYP.  
 TYPE 4: NON-RATED INTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 5/8" GYPSUM BOARD ON ONE SIDE OF STUD, TILE BACKER BOARD ON WET SIDE OF WALL, TYP.  
 TYPE 5: NON-RATED FULL HEIGHT EXTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF TILE BACKER BOARD ON INSIDE OF STUD AND 1/2" LAYER OF PLYWOOD ON THE OUTSIDE, FINISH MATERIAL IS CEMENTITIOUS SHINGLE SIDING, TYP.  
 TYPE 6: NON-RATED INTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 1/2" PLYWOOD ON THE STAIR SIDE PLUS 5/8" GYPSUM BOARD ON EACH SIDE OF STUD, TYP.  
 TYPE 7: NON-RATED FULL HEIGHT EXTERIOR OR INTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF TILE BACKER BOARD ON OUTSIDE OF STUD AND, FINISH MATERIAL IS CERAMIC PANELS, TYP.  
 TYPE 8: NON-RATED INTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 1/2" PLYWOOD ON EACH SIDE OF STUD, TYP.

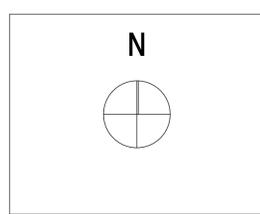
STUD SIZE DESIGNATION:  
 4 = (2x4) 1 1/2" x 3 1/2" WOOD STUD  
 6 = (2x6) 1 1/2" x 5 1/2" WOOD STUD

**md<sup>D</sup>**  
 Mark Davis Design  
 3720 Sacramento Street, Suite 3  
 San Francisco CA 94118  
 415.990.8491  
 www.markdavisdesign.com

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 5 PALMER COURT  
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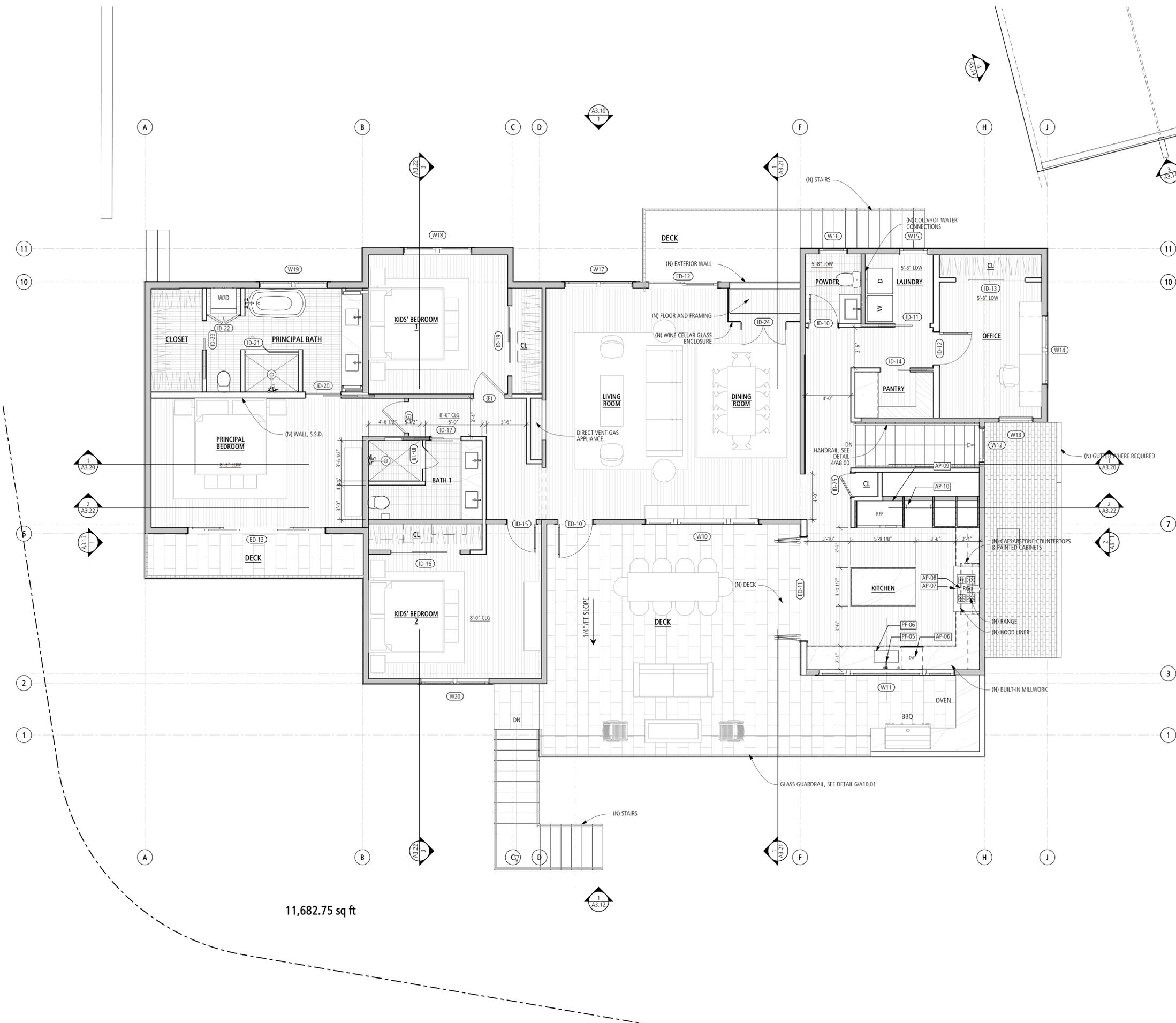
REV.	ISSUED FOR:	DATE:
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1	REVISION 1	JAN 9, 2026



**BASEMENT PLAN**

**A2.00**

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11,682.75 sq ft

PROPOSED FIRST FLOOR PLAN

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- ALL DIMENSIONS ARE TO FACE OF FRAMING, U.O.N., TYP.
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PARTITION TAG TYPE:



PARTITION TYPES:

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- TYPE 2: NON-RATED FULL HEIGHT EXTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 5/8" TYPE 'X' GYPSUM BOARD ON INSIDE OF STUD AND 1/2" LAYER OF PLYWOOD ON THE OUTSIDE, FINISH MATERIAL IS 7/8" STUCCO, TYP.
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- TYPE 4: NON-RATED INTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 5/8" GYPSUM BOARD ON ONE SIDE OF STUD, TILE BACKER BOARD ON WET SIDE OF WALL, TYP.
- TYPE 5: NON-RATED FULL HEIGHT EXTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF TILE BACKER BOARD ON INSIDE OF STUD AND 1/2" LAYER OF PLYWOOD ON THE OUTSIDE, FINISH MATERIAL IS CEMENTITIOUS SHINGLE SIDING, TYP.
- TYPE 6: NON-RATED INTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 1/2" PLYWOOD ON THE STAIR SIDE PLUS 5/8" GYPSUM BOARD ON EACH SIDE OF STUD, TYP.
- TYPE 7: NON-RATED FULL HEIGHT EXTERIOR OR INTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF TILE BACKER BOARD ON OUTSIDE OF STUD AND, FINISH MATERIAL IS CERAMIC PANELS, TYP.
- TYPE 8: NON-RATED INTERIOR PARTITION. CONSTRUCTED WITH CONVENTIONAL NOMINAL SIZE WOOD FRAMING, AS SCHEDULED, WITH ONE LAYER OF 1/2" PLYWOOD ON EACH SIDE OF STUD, TYP.

STUD SIZE DESIGNATION:  
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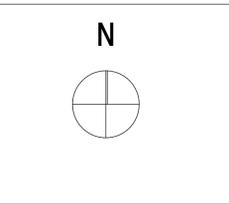
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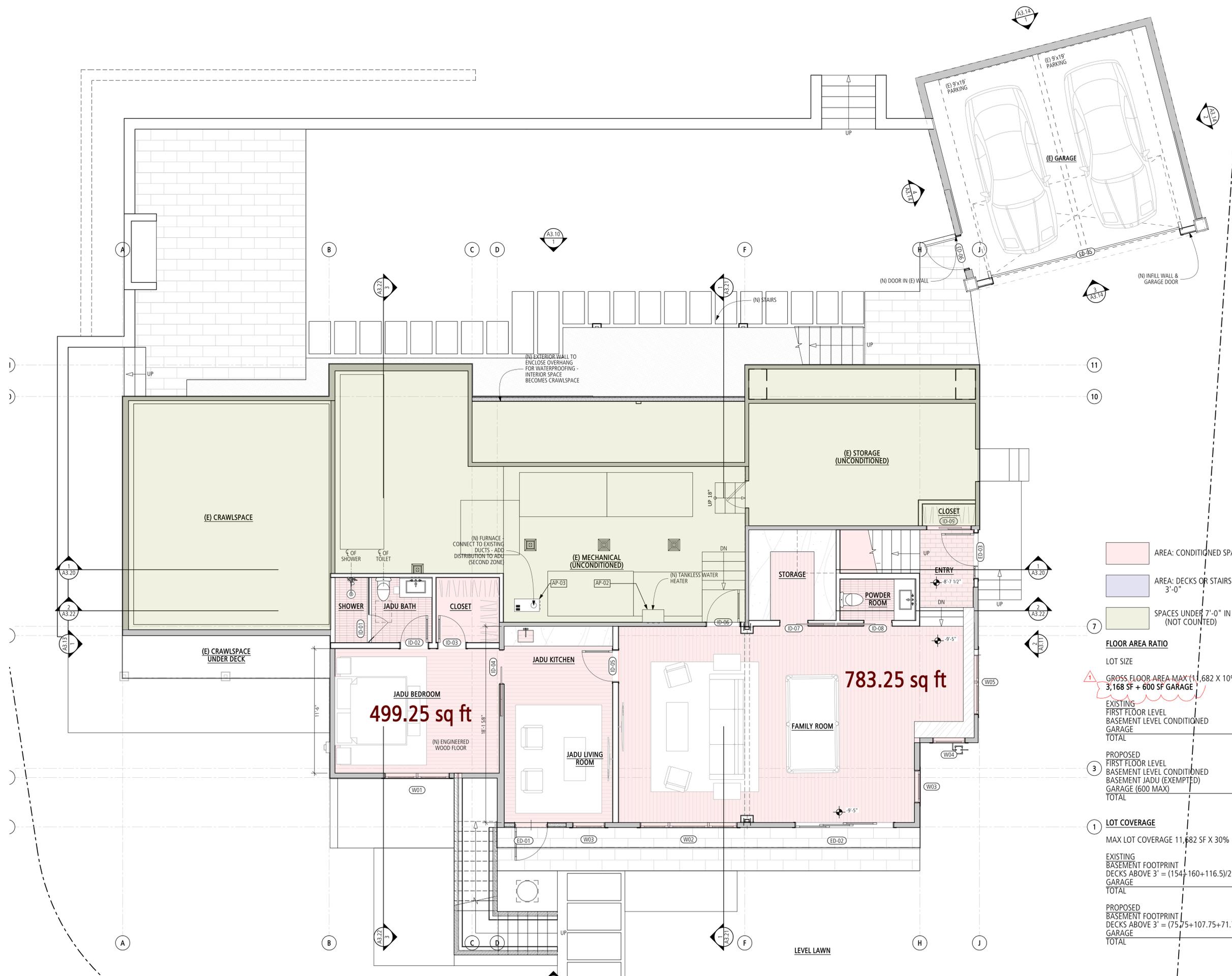
FIRST FLOOR PLAN

A2.01



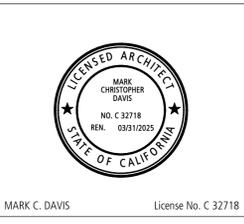






PROPOSED BASEMENT LOT COVERAGE/F.A.R. DIAGRAM

**md<sup>D</sup>**  
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 San Francisco CA 94118  
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 www.markddesign.com



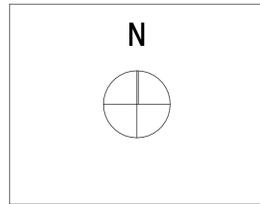
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 5 PALMER COURT  
 BELVEDERE, CA 94920  
 APN 055-201-32

REV.	ISSUED FOR:	DATE:
	PLANNING SET	NOV 28, 2025
1	REVISION 1	JAN 9, 2026

- AREA: CONDITIONED SPACES
- AREA: DECKS OR STAIRS ABOVE 3'-0"
- SPACES UNDER 7'-0" IN HEIGHT (NOT COUNTED)

**FLOOR AREA RATIO**

LOT SIZE	11,682 SF
<b>3,168 SF + 600 SF GARAGE</b>	
EXISTING FIRST FLOOR LEVEL	2,156 SF
BASEMENT LEVEL CONDITIONED	434 SF
GARAGE (461 SF)	461 SF
<b>TOTAL</b>	<b>2,590 SF</b>
PROPOSED FIRST FLOOR LEVEL	2,135 SF
BASEMENT LEVEL CONDITIONED	783.25 SF
BASEMENT JADU (EXEMPTED)	(500 SF)
GARAGE (600 MAX)	(461 SF)
<b>TOTAL</b>	<b>2,918 SF</b>
<b>LOT COVERAGE</b>	
MAX LOT COVERAGE 11,682 SF X 30%	3,504.6 SF
EXISTING BASEMENT FOOTPRINT	2,811 SF
DECKS ABOVE 3' = (154+160+116.5)/2	215.25 SF
GARAGE	461 SF
<b>TOTAL</b>	<b>3,487 SF</b>
PROPOSED BASEMENT FOOTPRINT	2,811 SF
DECKS ABOVE 3' = (75+75+107.75+71.75+69.25)/2	162.25 SF
GARAGE	461 SF
<b>TOTAL</b>	<b>3,434 SF</b>



**PROPOSED BASEMENT LOT COVERAGE / F.A.R. DIAGRAM**  
**A2.12**



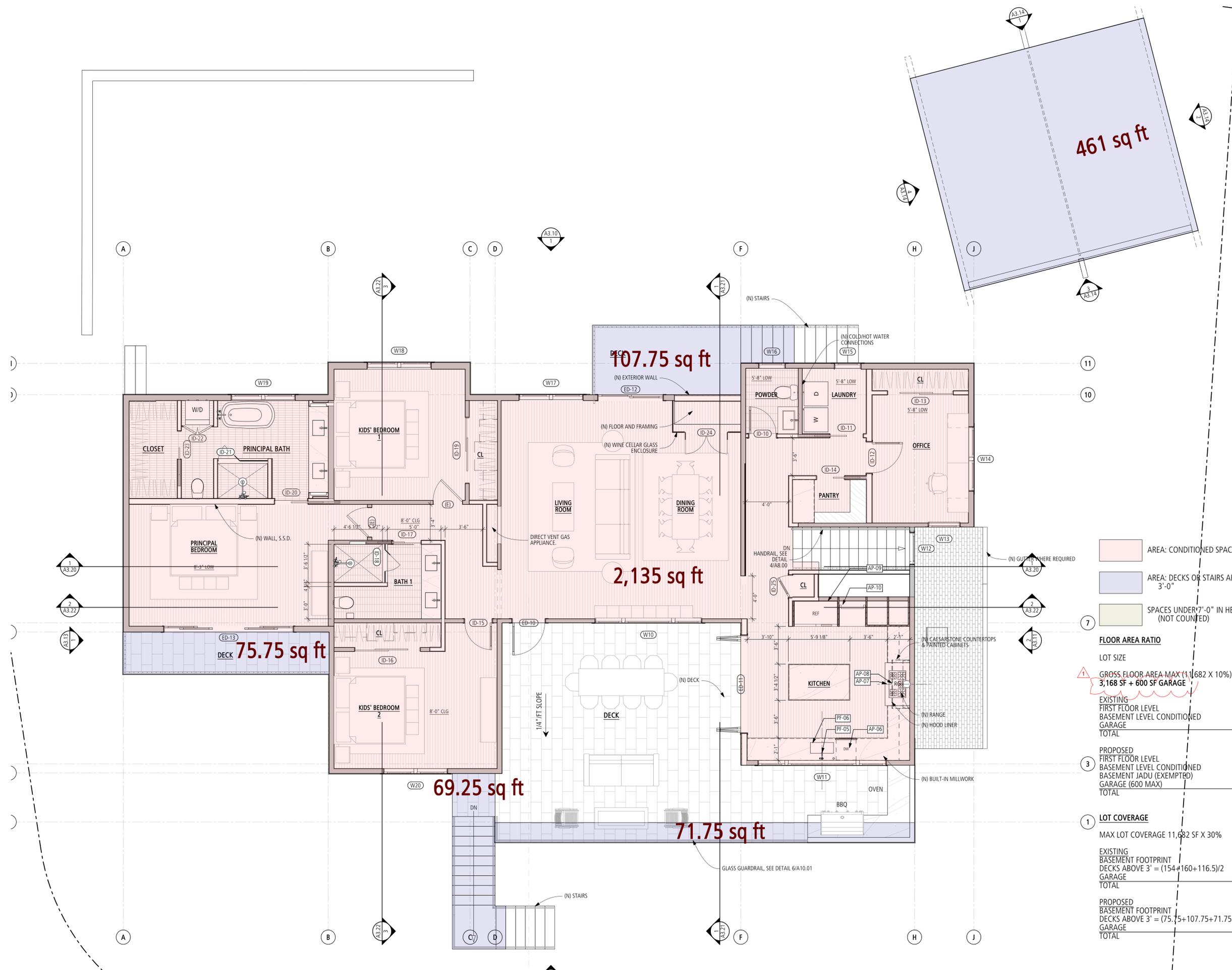
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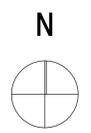
REVISION 1 JAN 9, 2026

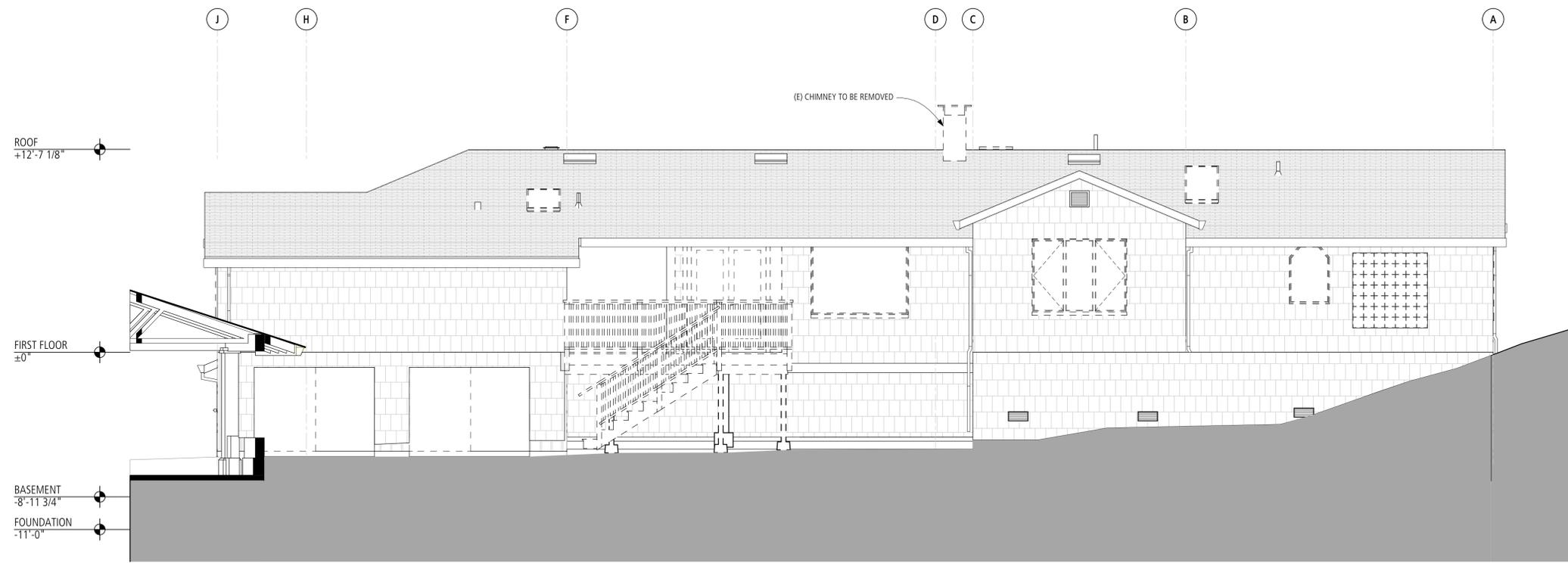


- AREA: CONDITIONED SPACES
- AREA: DECKS OR STAIRS ABOVE 3'-0"
- SPACES UNDER 7'-0" IN HEIGHT (NOT COUNTED)

**FLOOR AREA RATIO**

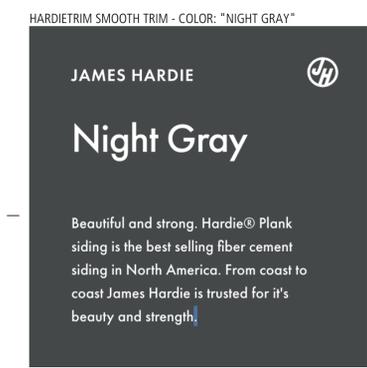
LOT SIZE	11,682 SF
<b>GROSS FLOOR AREA MAX (11,682 X 10%) + 2000 SF =</b>	<b>3,168 SF + 600 SF GARAGE</b>
EXISTING FIRST FLOOR LEVEL	2,156 SF
BASEMENT LEVEL CONDITIONED	434 SF
GARAGE (461 SF)	461 SF
<b>TOTAL</b>	<b>2,590 SF</b>
PROPOSED FIRST FLOOR LEVEL	2,135 SF
BASEMENT LEVEL CONDITIONED	783.25 SF
BASEMENT JADU (EXEMPTED)	(500 SF)
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EXISTING BASEMENT FOOTPRINT	2,811 SF
DECKS ABOVE 3' = (154+160+116.5)/2	215.25 SF
GARAGE	461 SF
<b>TOTAL</b>	<b>3,487 SF</b>
PROPOSED BASEMENT FOOTPRINT	2,811 SF
DECKS ABOVE 3' = (75.75+107.75+71.75+69.25)/2	162.25 SF
GARAGE	461 SF
<b>TOTAL</b>	<b>3,434 SF</b>





2 (E) NORTH ELEVATION 1/4" = 1'-0"

- KEYNOTES:**
- 01 (N) HARDIESHINGLE FIBER CEMENT SHINGLE SIDING - COLOR: "COBBLE STONE"
  - 02 (N) HARDIEPANEL FIBER CEMENT VERTICAL SIDING AND TRIM BATTEN - COLOR: "COBBLE STONE"
  - 03 (N) HARDIETRIM SMOOTH TRIM - COLOR: "NIGHT GRAY"
  - 04 (N) CLASS A SHINGLE ROOF
  - 05 (N) TEMPERED GLASS GUARDRAILS
  - 06 (N) POWDER-COATED METAL GUARDRAIL



**md<sup>D</sup>**

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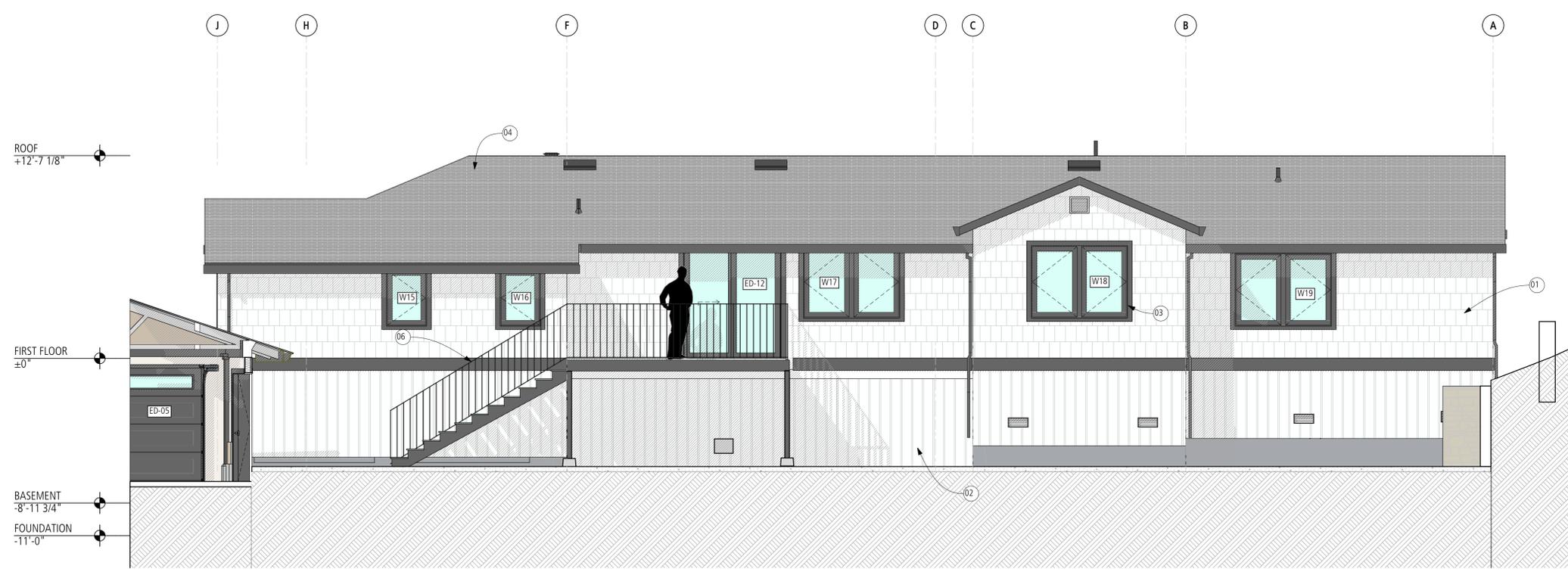
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1 PROPOSED NORTH ELEVATION 1/4" = 1'-0"

**JAMES HARDIE**

**Night Gray**

Beautiful and strong. Hardie® Plank siding is the best selling fiber cement siding in North America. From coast to coast James Hardie is trusted for it's beauty and strength.

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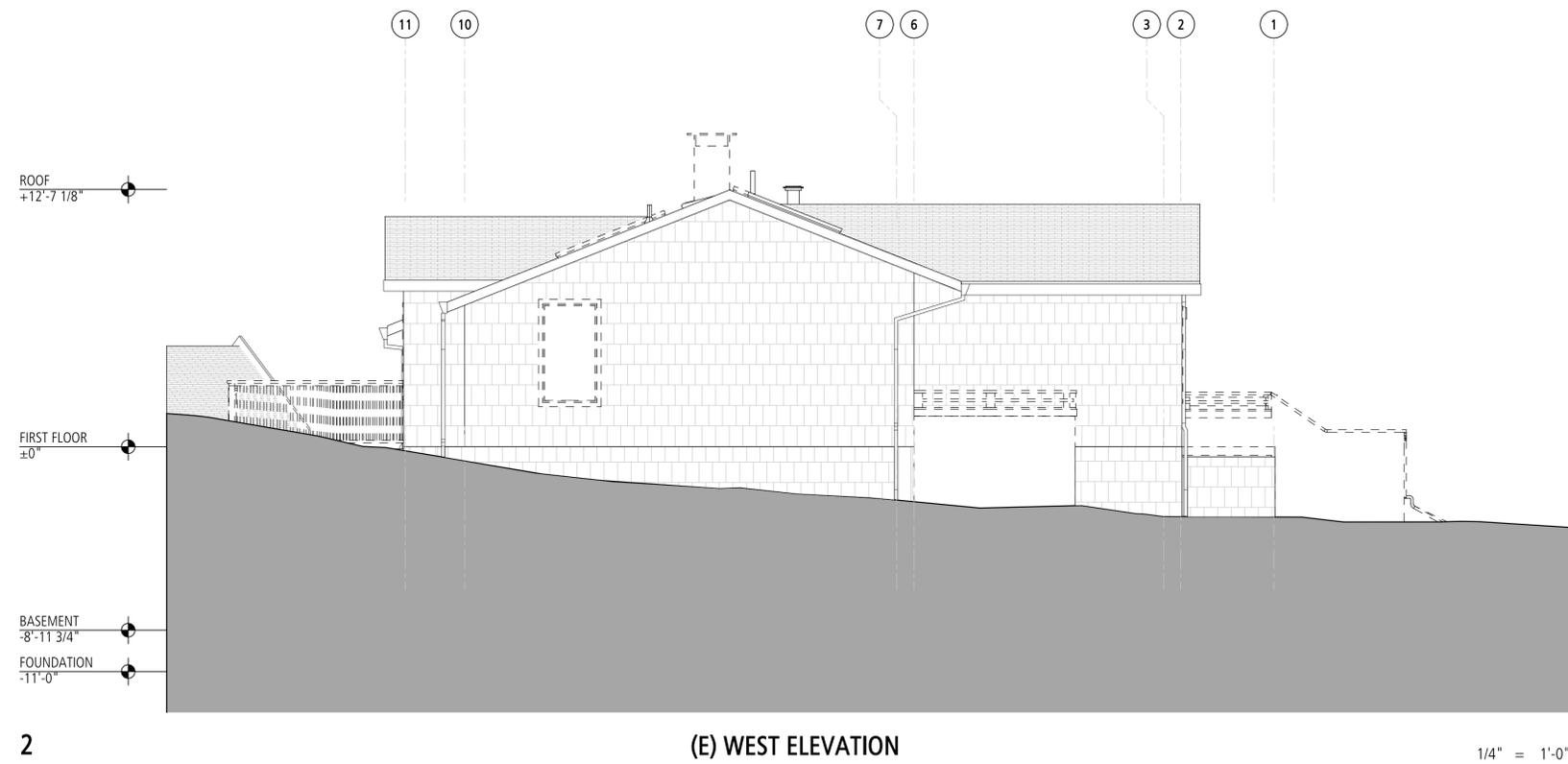
**EXTERIOR ELEVATIONS**

**A3.10**

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**KEYNOTES:**

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- 03 (N) HARDIETRIM SMOOTH TRIM - COLOR: "NIGHT GRAY"
- 04 (N) CLASS A SHINGLE ROOF
- 05 (N) TEMPERED GLASS GUARDRAILS
- 06 (N) POWDER-COATED METAL GUARDRAIL

HARDIESHINGLE SHINGLE SIDING - COLOR: "COBBLE STONE"



HARDIEPANEL BOARD AND BATTEN - COLOR: "COBBLE STONE"

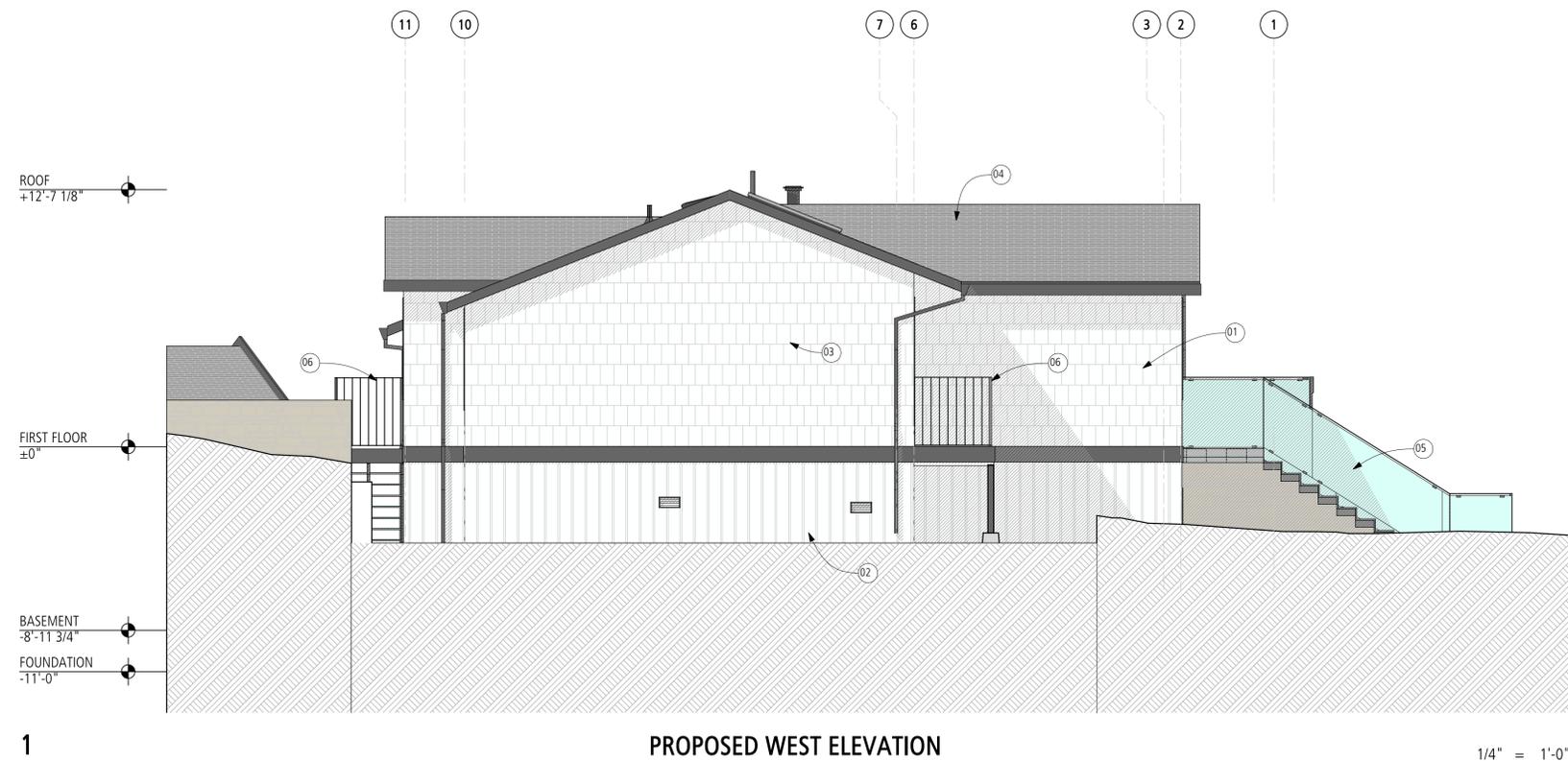


HARDIETRIM SMOOTH TRIM - COLOR: "NIGHT GRAY"

**JAMES HARDIE**

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EXTERIOR ELEVATIONS

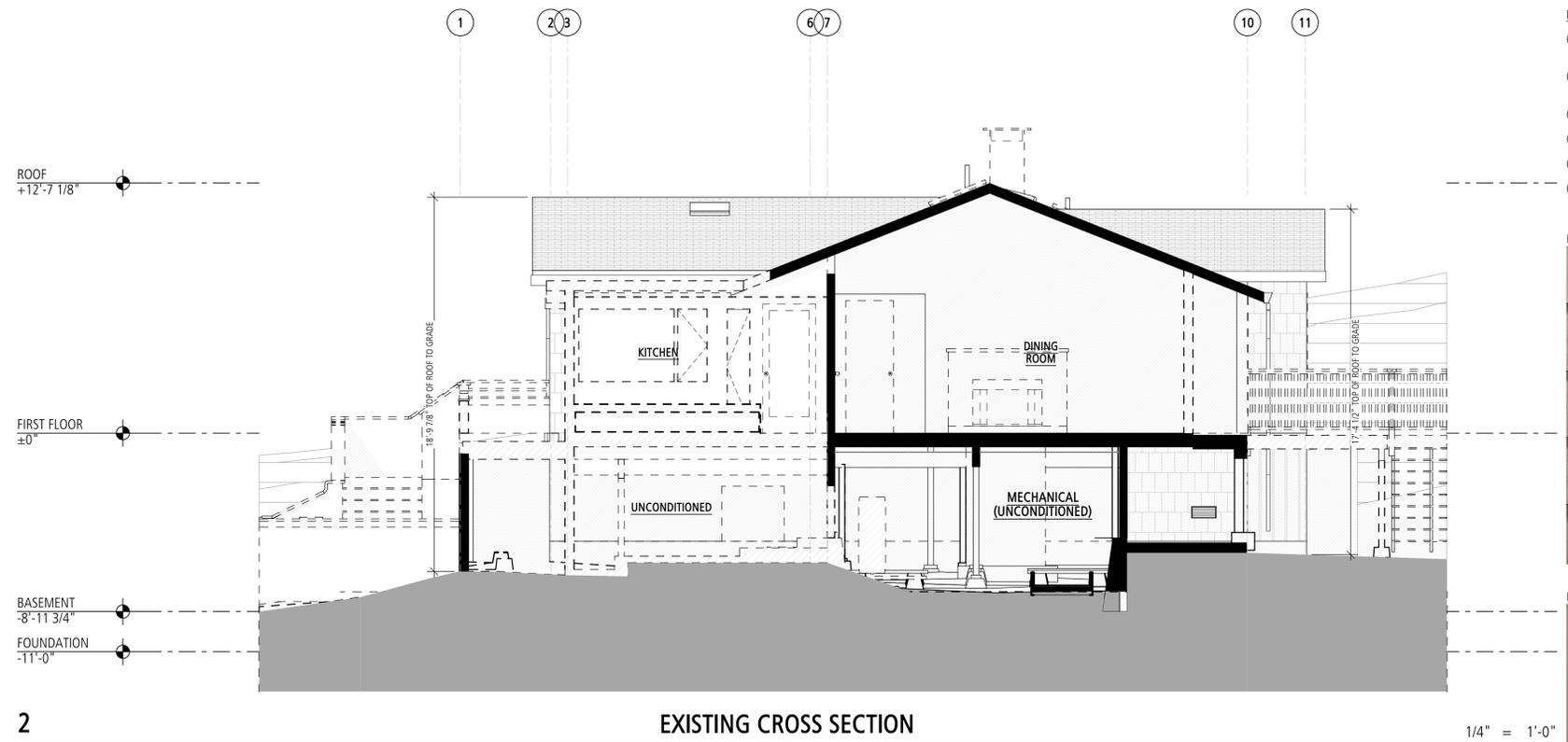
A3.13

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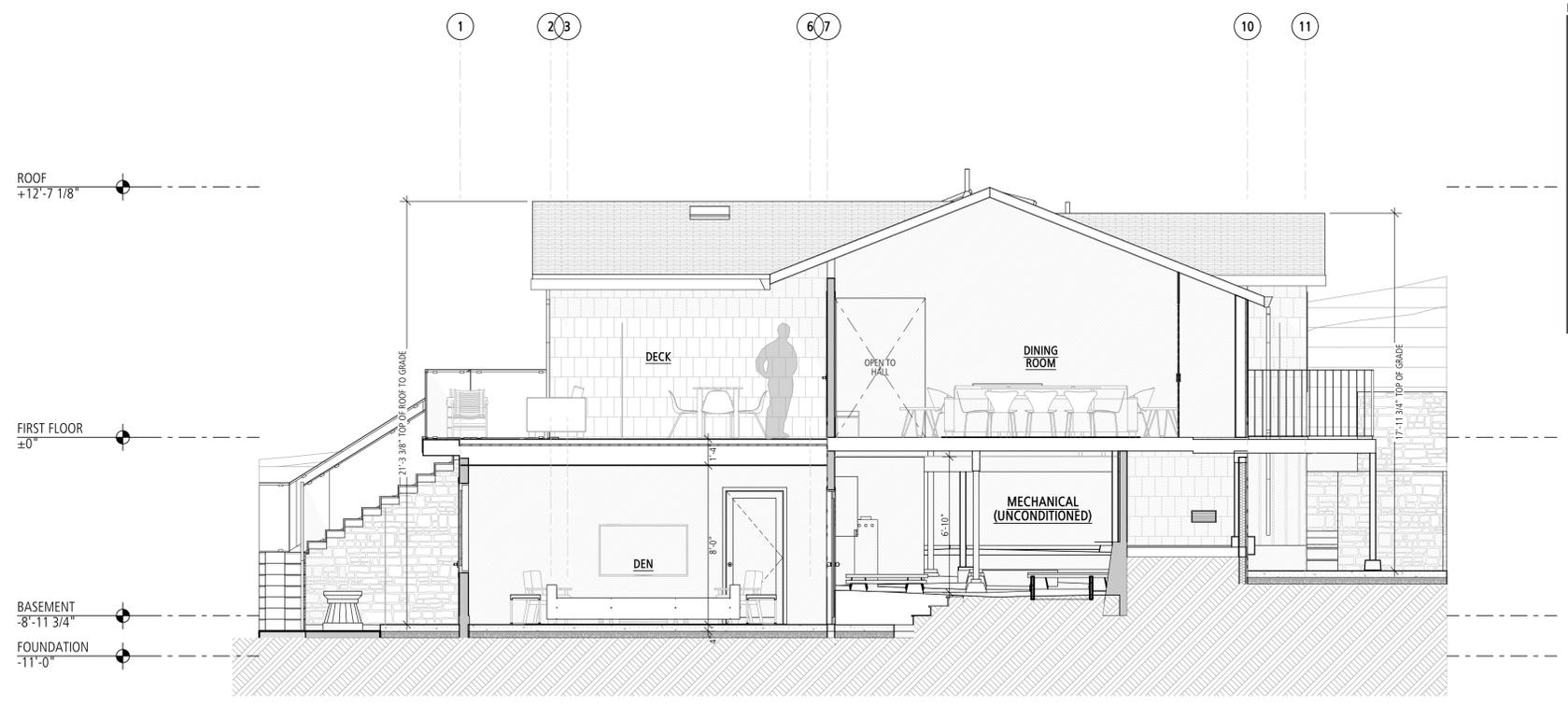
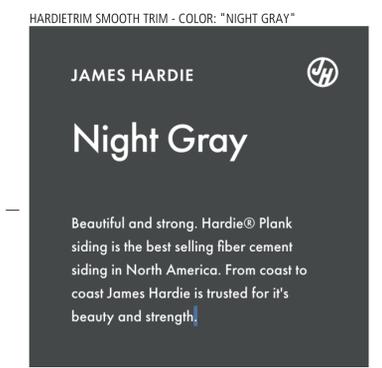
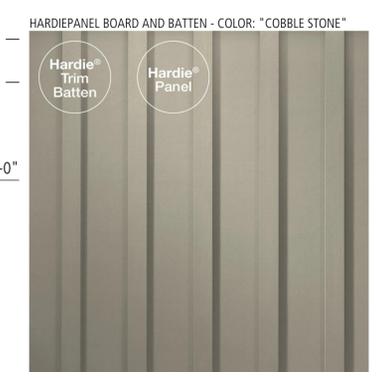


2

EXISTING CROSS SECTION

1/4" = 1'-0"

- KEYNOTES:**
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  - 03 (N) HARDIETRIM SMOOTH TRIM - COLOR: "NIGHT GRAY"
  - 04 (N) CLASS A SHINGLE ROOF
  - 05 (N) TEMPERED GLASS GUARDRAILS
  - 06 (N) POWDER-COATED METAL GUARDRAIL



1

PROPOSED CROSS SECTION

1/4" = 1'-0"

**JAMES HARDIE** 

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**BUILDING SECTIONS**

# A3.21

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1

DEMO REAR PERSPECTIVE

1/4" = 1'-0"

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3

PROPOSED REAR PERSPECTIVE

1:0.80

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PERSPECTIVE  
VIEWS

**A3.31**

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**EXTERIOR DOOR SCHEDULE & ELEVATIONS**

LEVEL	BASEMENT					FIRST FLOOR			
ID	ED-01	ED-02	ED-03	ED-05	ED-06	ED-10	ED-11	ED-12	ED-13
ROOM NAME	JADU ENTRY	FAMILY	MAIN ENTRY	GARAGE	GARAGE	LIVING/DINING	KITCHEN	LIVING/DINING	PRINCIPAL BEDROOM
UNIT WIDTH	36.00"	110.00"	51.25"	222.50"	38.00"	38.00"	110.00"	74.00"	146.00"
UNIT HEIGHT	84.00"	85.00"	81.00"	87.25"	81.00"	85.00"	85.00"	85.00"	85.00"
ELEVATION									
TYPE	SWING - SIDELITE	SLIDING	SWING - SIDELINE	GARAGE	SWING	SWING	NANA DOOR	PATIO	SLIDING
U-FACTOR (MAX)									
MATERIAL	ALUMINUM CLAD	ALUMINUM CLAD	ALUMINUM CLAD	PTD WOOD	PTD WOOD	ALUMINUM CLAD	ALUMINUM CLAD	ALUMINUM	ALUMINUM CLAD
REMARKS	TEMPERED	TEMPERED	TEMPERED			TEMPERED	TEMPERED	TEMPERED	TEMPERED

**INTERIOR DOOR SCHEDULE**

LEVEL	BASEMENT										FIRST FLOOR												
ID	ID-01	ID-02	ID-03	ID-04	ID-05	ID-06	ID-07	ID-08	ID-09	ID-10	ID-11	ID-12	ID-13	ID-14	ID-15	ID-16	ID-17	ID-18	ID-19	ID-20	ID-21	ID-22	ID-23
ROOM	JADU BATH	JADU BATH	JADU CLOSET	JADU BEDROOM	JADU LIVING	FAMILY ROOM				POWDER ROOM	LAUNDRY	OFFICE	OFFICE CLOSET	PANTRY	KIDS BEDROOM 2	CLOSET	KIDS BATHROOM	SHOWER DOOR	KIDS ROOM 1	PRINCIPAL BATH	PRINCIPAL BATH	PRINCIPAL BATH	PRINCIPAL CLOSET
DIMENSIONS	WIDTH 31.48"	32.00"	32.00"	38.00"	36.00"	38.00"	32.00"	32.00"	50.00"	32.00"	38.00"	36.00"	74.00"	32.00"	32.00"	74.00"	32.00"	25.50"	74.00"	38.00"	25.50"	34.00"	32.00"
	HEIGHT 68.75"	81.00"	81.00"	33.22"	81.00"	31.50"	81.00"	81.00"	76.78"	81.00"	81.00"	81.00"	81.00"	81.00"	81.00"	81.00"	81.00"	80.00"	81.00"	81.00"	80.00"	81.00"	81.00"
ELEVATION																							
TYPE	FRAMELESS	SWING	SWING	POCKET	SWING	SWING				SWING	POCKET	SWING	SLIDING	POCKET	SWING	SLIDING	POCKET	FRAMELESS	SLIDING	POCKET	FRAMELESS	SWING	POCKET
MATERIAL	GLASS	PTD WOOD	PTD WOOD	PTD WOOD	PTD WOOD	PTD WOOD				PTD WOOD	PTD WOOD	PTD WOOD	PTD WOOD	PTD WOOD	PTD WOOD	PTD WOOD	PTD WOOD	GLASS	PTD WOOD	PTD WOOD	GLASS	PTD WOOD	PTD WOOD
REMARKS	TEMPERED																	TEMPERED			TEMPERED		

**WINDOW SCHEDULE & ELEVATIONS**

Home Story	BASEMENT								
ID	W01	W02	W03	W03	W04	W05	W10	W11	W12
ROOM	JADU BEDROOM	JADU LIVING		FAMILY ROOM	FAMILY ROOM	FAMILY ROOM	LIVING/DINING	KITCHEN	STAIRWELL
NOMINAL WIDTH	72.00"	108.00"	36.00"	36.00"	36.00"	72.00"	120.00"	144.00"	36.00"
NOMINAL HEIGHT	54.00"	54.00"	54.00"	54.00"	54.00"	54.00"	72.00"	54.00"	54.00"
HEAD HEIGHT	6'-8"	6'-8"	6'-8"	6'-8"	4'-10 3/8"	6'-8"	7'-0"	7'-6"	6'-6"
TYPE	CASEMENT	CASEMENT - FIXED - CASEMENT		CASEMENT	CASEMENT	CASEMENT	CASEMENT - FIXED - CASEMENT	CASEMENT - FIXED - CASEMENT	FIXED
View from Side Opposite to Opening Side									
MATERIAL	ALUMINUM CLAD	ALUMINUM CLAD		ALUMINUM CLAD	ALUMINUM CLAD	ALUMINUM CLAD	ALUMINUM CLAD	ALUMINUM CLAD	ALUMINUM CLAD
REMARKS									

FIRST FLOOR						
W13	W14	W15	W16	W17	W18	W19
OFFICE	OFFICE	LAUNDRY	POWDER ROOM	LIVING/DINING	KIDS BEDROOM 1	PRINCIPAL BATHROOM
36.00"	72.00"	30.00"	72.00"	72.00"	72.00"	72.00"
54.00"	54.00"	42.00"	42.00"	54.00"	54.00"	54.00"
6'-6"	6'-6"	5'-6"	5'-6"	7'-0"	7'-0"	6'-6"
FIXED	CASEMENT	CASEMENT	CASEMENT	CASEMENT	CASEMENT	CASEMENT
ALUMINUM CLAD	ALUMINUM CLAD					

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**DOOR & WINDOW SCHEDULE**

**A11.00**